

Inspection Report



Excellence in Home Inspection

FOR THE PROPERTY AT:

West Bayshore Court #1/2
Tampa, FL 33611

PREPARED FOR:

AWESOME CLIENT

INSPECTION DATE:

Wednesday, September 10, 2025

INSPECTED BY:

Derle Parmer, HI11344



**Handy Vet
Inspections**



Handy Vet Inspections LLC
Serving the Tampa Bay Area
Tampa, FL 33629

813-981-2008

www.handyvetinspections.com
Derle@HandyVetInspections.com



September 10, 2025

Dear Awesome Clients

RE: Report No. 1651

West Bayshore Court #1/2

Tampa, FL

33611

Thank you for choosing Handy Vet Inspections to perform your home inspection. The inspection itself and the attached report comply with the requirements of the State of Florida Standards of Practice. This document defines the scope of a home inspection.

Clients sometimes assume a home inspection will include many things that are beyond the scope. Please read the Standards of Practice to clearly understand what is included in the home inspection and report.

The report and all pictures are the property of Handy Vet Inspections LLC and are prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein.

The report is a snapshot of the visible and accessible areas of the house, recording the conditions on a given date and time. Home Inspectors cannot predict future behavior, and as such, are not responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update your report prior to your closing if time permits.

The report itself is copyrighted, and may not be used in whole or in part without Handy Vet Inspections' express written permission.

Again, thank you for choosing Handy Vet Inspections to perform your home inspection. You had a choice and your choice is appreciated.

Sincerely,

Derle Parmer

on behalf of

Handy Vet Inspections LLC

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SUMMARY

Report No. 1651

West Bayshore Court #1/2, Tampa, FL September 10, 2025

www.handyvetinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

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PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

OBSERVATIONS / RECOMMENDATIONS \ General

Condition: • Tree limbs touching roof

Tree limbs touching roof will speed the deterioration or damage roofing material and structure. All limbs that touch or have the potential to touch the roof material or home should be trimmed regularly.

Implication(s): Damage to roof and structure

Location: Left Rear

Task: Trim trees,

Time: Immediate,

Exterior

ROOF DRAINAGE \ Gutters and Downspouts

Condition: • Gutter discharges onto roof in one or more locations

Gutters discharging onto a lower roof will speed the wear of roof material. Recommend installing downspouts to direct water directly into lower gutters to protect the structure and prevent premature failure of roof materials.

Implication(s): Premature wear or failure of roof material

Task: Correct, Protect,

Time: Immediate,

DOORS \ Exterior trim

Condition: • Water damage on door trim.

Implication(s): Chance of damage to finishes and structure

Task: Repair or replace,

Time: Immediate,

LANDSCAPING \ General notes

Condition: • Tree limbs touching house- Trim trees

Trees in contact or close contact will damage the home and should be regularly trimmed to prevent contact. Ensure you trim to prevent contact in wind storms as well.

Location: Left Rear

Task: Trim trees/ Regular maintenance

Time: Immediate,

LANDSCAPING \ Fence

Condition: • Gate damaged

Gate hinges are severely corroded and and off. This is bending the frame of the hinge. Replaced as needed.

Implication(s): Reduced operability

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Task: Repair or replace,

Time: Immediate,

Structure

ROOF FRAMING \ Rafter/trusses

Condition: • [Mechanical damage](#)

No truss can be cut or damaged. This is part of a three truss package and although very strong, should be evaluated for repair by a qualified professional engineer as a truss is an engineered system.

Implication(s): Weakened structure | Chance of structural movement

Location: Front Right Attic beside water heater

Task: Repair

Time: Immediate,

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • Circuits not labeled

One or more breakers not labeled or mislabeled- Unknown use. Obtain disclosure from seller and properly label before closing or have electrician determine use and properly label.

Implication(s): Safety hazard | Risk of electric shock

Task: Correct, 4- POINT FAILURE

Time: Immediate,

SERVICE BOX, GROUNDING AND PANEL \ Distribution Panel fuses/breakers

Condition: • Breaker Oversized for equipment/system

Breakers are sized for the equipment, system or circuit they supply as required by the manufacturer. Oversizing breakers can cause damage to the equipment, electric shock or fire due to not tripping (stopping power to the circuit) when a fault occurs. Recommend evaluation & correction as required by a licensed professional electrician to verify all equipment breakers are properly sized.

Implication(s): Equipment damage | Fire hazard

Task: Repair, 4-POINT FAILURE

Time: Immediate,

Condition: • Breaker found tripped

Breakers are designed to trip in this half on-half off position to indicate a problem and protect components and persons. The cause of the trip should be determined prior to resetting the breaker to prevent damage or injury. Tripped breakers are not reset during a home inspection.

One breaker is tripped, but the other breaker shows tripped, but is still in the on position.

Task: Repair, 4-POINT FAILURE

Time: Immediate,

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DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • GFCI protection missing where required

Receptacles (outlets) within 6ft of a water source require GFCI protection. This includes, but not limited to sinks, tubs, outdoor receptacles, garage, laundry, wet bars, unfinished basements, jacuzzi's, pools, etc. This can be done with individual GFCIs at key locations to protect multiple receptacles or a GFCI breaker in the panel to protect the entire circuit. Consult a professional electrician for options.

Guidelines for GFCI receptacles include the following locations and year required:

-

Outdoors (1973)	Bathrooms (1975)
Garages (1978)	Kitchens Sinks w/in 6ft (1987)
Wet bar sinks (1993)	Crawl spaces (1990)
Kitchen- All Countertops (1996)	Laundry and utility sinks (2005)
Laundry areas- All Recep's (2014)	

NOTE: Exterior Receptacles, including those on open or screened porches or patios must have an approved weatherproof cover.

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Implication(s): Electric shock

Location: Various

Task: Replace, 4-POINT FAILURE

Time: Immediate,

Condition: • [Inoperative](#)

One or more receptacle and/or light switch was inop during the inspection. No switches or GFCIs were found to operate these receptacles as a switched/protected receptacle.

These receptacles also require GFCI protection, which was not able to be verified during the inspection.

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Implication(s): Equipment inoperative

Location: Various

Task: Repair, 4-POINT FAILURE

Time: Immediate

DISTRIBUTION SYSTEM \ Cover plates

Condition: • Coverplate missing, loose or damaged- Required

Junction Boxes (JBox) & receptacles (switches & outlets) require serviceable cover plates. If a switch or outlet is not needed, all wiring should be terminated with a wire nut and protected with a cover plate.

Implication(s): Electric shock | Fire hazard

Location: Various

Task: Repair, 4-POINT FAILURE

Time: Immediate,

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Cooling & Heat Pump

AIR CONDITIONING \ Condensation drain line

Condition: • Condensation drain line missing insulation

Condensation drain lines should be insulated to prevent water damage to the structure.

Task: Repair, 4-POINT FAILURE

Time: Immediate,

AIR CONDITIONING \ Ducts, registers and grilles

Condition: • Ducts poorly connected

Ducts are poorly connected at one or more locations. Duct connections should be sealed with a mastic paste to better seal and reduce leakage at joints.

All connections, especially those at ceiling penetrations should be sealed properly.

Task: Repair,

Time: As soon as possible,

AIR CONDITIONING \ Evaporator / Air Handler (Interior unit)

Condition: • Air handler cabinet/ plenum is leaking air/ not fully sealed. Seal cabinet to ensure maximum efficiency of HVAC system.

Air handler plenum leaking air and causing organic growth. These areas should be cut out and replaced and properly sealed.

Implication(s): Reduced efficiency

Location: First floor air handler right side

Task: Repair,

Time: Immediate,

Condition: • Condensation/ Overflow drain pan has excessive corrosion or leaking

Implication(s): Chance of water damage to structure, finishes and contents

Task: Replace, 4-POINT FAILURE

Time: Immediate,

Plumbing

WATER HEATER \ General notes

Condition: • Water temp low- Recommend 120 degrees

Recommended water heater temp is 120 degrees. If this is an older unit, lower temps may be an indication of an aging water heater in need of repair or replacement. If this is a newer unit, adjust water heater temp closer to 120 degrees without exceeding 130, as higher temps can scald. This can simply be done by following the manufacturer's instructions for adjustment and checking water temp in approximately 30 mins. If there are mixing valves present, as in newer homes, recommend adjusting any mixing valves if temp is lower at one faucet than another after running for 2 minutes.

If the temperature does not rise accordingly, contact a licensed professional plumber for evaluation and replacement options.

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Task: Adjust and replace if needed

Time: Immediate

WATER HEATER \ Tank

Condition: • Rust/ Corrosion on water heater or pipes

Gate valves are prone to leaking and should be replaced with a ball valve to protect the structure.

Implication(s): Chance of water damage to structure, finishes and contents | No hot water

Location: Gate valve on water heater

Task: Replace, 4-POINT FAILURE

Time: Immediate,

FIXTURES AND FAUCETS \ Toilet

Condition: • Loose toilet

Loose toilets may hide damage that can only be seen when toilet is pulled for repair. All additional damage to the flooring or structure should be repaired as needed. Recommend the toilet be seated with grout or silicone around the base and leave a section at the rear open to allow any leaks to present earlier and prevent future structure damage.

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: Master Bathroom

Task: Repair, 4-POINT FAILURE

Time: Immediate,

Condition: • [Broken or cracked tank lids, bowls or seats](#)

Implication(s): Chance of water damage to structure, finishes and contents | Physical injury

Location: 1st Floor Half Bath

Task: Replace,

Time: Immediate,

Interior

CEILINGS \ General notes

Condition: • Water stains with high moisture detected

High moisture levels found at one or more locations inside the home. All stains or wet areas were tested with a moisture meter to determine level of moisture. Any reading over 20% is cause for further evaluation to determine source of moisture and required repairs. Determination of exact cause is beyond the scope of the home inspection.

The damaged area beneath the shower must be opened to repair.

The area in the master bedroom is due to the condensation from the air handler drain line. This area can be wiped dry and left to dry naturally without and ceiling repair, as long as staining doesn't present while drying.

Implication(s): Chance of water damage to structure, finishes and contents

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Location: 1st Floor entry

Task: Further evaluation 4-POINT FAILURE

Time: Before end of contingency period.

CEILINGS \ Plaster or drywall

Condition: • [Sag](#)

Implication(s): Chance of movement

Location: Garage

Task: Repair,

Time: Immediate,

WINDOWS \ General notes

Condition: • Window painted/ caulked/ sealed shut and will not open. Correct fault to ensure window is accessible in emergencies.

One more windows throughout the home are painted shut and unable to easily open. Recommend repair as needed or verification of operation prior to closing. Pictures do not capture all effected windows.

Implication(s): Lack of egress in emergency | Personal injury | Loss of life

Location: Multiple windows throughout home

Task: Repair,

Time: Immediate,

CARPENTRY \ Cabinets

Condition: • Cabinet/vanity not properly mounted to prevent movement

Location: Master Bathroom

Task: Repair,

Time: Immediate,

APPLIANCES \ Dryer

Condition: • Dryer vent door/ flap missing

Dryer doors are required to have a self closing door/flap to prevent entry by pests and rodents. Replacement dryer vents should be fully sealed around the exterior to prevent water entry. Additionally, dryer ducts should be cleaned regularly to prevent fire hazards.

Task: Repair or replace,

Time: Immediate,

DESCRIPTION OF REPORT

The following report includes a Description of the home's systems and components as well as any Limitations that restricted our inspection. The most important part of you report are the Recommendation sections and Task for each item listed. It is here we identify defects in the home, including those listed above, and suggest improvements and/or corrections.

REPAIR REQUEST LIST / INSURANCE FORMS (4-POINT)

You and your agent are responsible for compiling a complete Repair Request List, within your inspection period, based on your assessment of the following home inspection report. Carefully review the Recommendation sections and complete ALL Tasks for each defect. If a 4-Point Insurance Report is completed in conjunction with this inspection, defects marked "4-POINT FAILURE" must be included in your Repair Request List. Failure to compile an accurate Repair Request List using this report may delay you in obtaining insurance and may incur additional out of pocket e

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xpenses the seller may not be obligated to repair. Handy Vet Inspections is not responsible for compiling your Repair Request List nor is the 4-Point Report the sole document to review for repairs.

WARRANTY OR PRE-SALE INSPECTION REPORT STANDARDS

A Warranty or Pre-Sale Inspection is intended to find defects within the home prior to a warranty expiration or listing the home for sale. This report, unless otherwise requested, will contain only defects that should be submitted to your warranty policy carrier/ builder or repaired before listing the home. All accessible areas of your home were inspected to determine what visible defects were present. There may be sections within your report that contain no information other than the standards for inspecting that area. Rest assured all accessible areas of the home were thoroughly inspected.

LIMITING FACTORS

The inspection is performed by a generalist, and in some cases, specialists are recommended to further investigate conditions identified in this report. This is very similar to the doctor who is a general practitioner, identifying a physical condition and recommending further testing by a specialist.

Home inspectors have a limited amount of time on site. The inspection provides great value, and adds considerably to your understanding of the home. However, it is not an insurance policy with a one-time only premium, no exclusions, no deductible and no limits. A home inspection does not include an examination for and not limited to: pests, rot, wood destroying insects or mold unless contractually part of this inspection. There are specialists available who can provide these services.

Where there are recommendations for further review by professionals, we recommend only contracting with licensed professionals. Use of unlicensed individuals is at your own risk whether contracted by you or the seller. Reinspections of repairs is recommended to ensure they are completed correctly and ensure compliance with insurance and or building standards.

Please read the entire report carefully and ask any questions you may have of the inspector. You are reminded that a home inspection addresses visually accessible components of the home, and does not include destructive testing or hidden defects. We will operate mechanical systems with normal homeowner controls. Where there are many systems of a similar type in a home, we inspect a representative sample. For example, we do not inspect every electrical outlet, every piece of siding, every brick or every window.

NOT A CODE INSPECTION

This General Home Inspection is not a building code-compliance inspection, but a visual inspection for safety and system defects. The Inspection Report may comment on and identify problems with systems, components and/or conditions which may violate building codes. Although safety defects and building code violations may coincide at the time of the inspection, confirmation of compliance with any building code or identification of any building code violation is not the goal of this Inspection Report and lies beyond the scope of a General Home Inspection. If you wish to ascertain the degree to which the home complies with any applicable building codes, you should schedule a building code-compliance inspection.

WARRANTY VERIFICATION PRIOR TO PURCHASE

When a home is sold, the warranty may fully transfer to the buyer, may transfer for a shortened length of time, may transfer with limited coverage or may not transfer at all. We recommend you ask the seller how the sale of the home will affect any warranties presently covering any installed or updated system within the home. Additionally, you should

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confirm any seller claims by reading the warranties offered by all manufacturers, contractors and installers. The following are systems you should verify any and all warranty transfers and obtain documentation before purchasing.

Roof Decking & Shingles/Covering | Kitchen/ Household Appliances | Water Treatment Systems | Storm Shutters/Covers | Doors & Windows | Alarm Systems | Water Heater | HVAC | Current/Past Insect Treatment Plans

As you read the report, we encourage you to contact us with any questions about the report or the home.

[Home Improvement - ballpark costs](#)

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General System Info

General:

- The inspector shall observe Roof covering, Roof drainage systems, flashings, skylights, chimneys, roof penetrations and signs of leaks. The inspector shall describe the type of roof covering materials and report the methods used to inspect the roofing. The inspector is NOT required to walk on roofing deemed inaccessible or unsafe, inspect interiors of vent systems, flues, and chimneys that are not readily accessible, or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.
- General View of Roof



ROOFING

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									



Sloped roofing material: • Composition shingles

Flat roofing material: • [Modified bitumen membrane](#)

Approximate age: • Verified via Permit • 15 years

Observations & Recommendations

OBSERVATIONS / RECOMMENDATIONS \ General

1. Condition: • [4-POINT REPAIR PROCESS TO OBTAIN A "CLEAN 4-POINT" FOR INSURANCE](#)

Defects listed as 4-POINT FAILURES in this report require repair to clear your 4-Point Insurance form for your insurance agent.

- Once all 4-POINT FAILURES are completed, provide a copy of any invoices and pictures clearly showing repairs to obtain a "Clean 4-Point". Detailed invoices and/or clear pictures may be accepted for verification of repairs at the discretion of the inspector.

- A paid Reinspection may be required at the discretion of the inspector. Pictures must show the same detail as in the report to ensure the same area was repaired properly.

- IF a copy of the 4-POINT form listing failed items is requested, there will be an additional charge for a new form after repairs are completed (a "Clean 4-Point"). The Repair List should include all items labeled 4-POINT FAILURES in this report and any additional items you and your agent request.

- Send ONLY your "Clean 4-POINT" to your insurance agent. DO NOT send your full Home Inspection Report.

2. Condition: • Tree limbs touching roof

Tree limbs touching roof will speed the deterioration or damage roofing material and structure. All limbs that touch or have the potential to touch the roof material or home should be trimmed regularly.

Implication(s): Damage to roof and structure

Location: Left Rear

Task: Trim trees,

Time: Immediate,

ROOFING

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3. Condition: • Debris / Limbs/ Leaves / Moss on roof will cause premature failure

Clean roof of debris. Excessive debris, primarily leaves will hold moisture and speed the deterioration of all roofing materials and/or lead to leaks. Trees should be trimmed appropriately and debris on roof should be removed regularly to prolong roof life. If your roof is shingled, do not sweep leaves as this will remove granules from shingles and speed deterioration.

Implication(s): Water damage, rapid deterioration of sheathing and roofing materials

Task: Clean,

Time: Monthly



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Inspections & Limitations

Inspection performed: • Due to conditions deemed unsafe, in the opinion of the inspector, due to roof type, height, material or weather conditions, the roof was inspected with a camera on a pole at multiple locations. Any obvious, visible defects are noted in the report and hidden defects or damage are not the responsibility of the inspection company. If you have concerns about the condition of the roof, contact a qualified professional to perform a full inspection of the roof.

General System Info

General:

- The inspector shall inspect wall coverings, flashing, trim, eaves, soffits, and fascias. The inspector shall describe wall cladding materials. The inspector shall inspect attached and adjacent decks, balconies, stoops, steps, porches, railings, vegetation, grading, drainage, driveways, patios, walkways, and retaining walls that are likely to adversely affect the building. The inspector is NOT required to inspect fences or boundary walls, geological & soil conditions, recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities) or presence or condition of buried fuel storage tanks, outbuildings other than garages & carports, seawalls, break-walls and docks. The inspector is NOT required to move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.
- General View of Exterior



Wall surfaces and trim: • Stucco on block

Observations & Recommendations

ROOF DRAINAGE \ Gutters and Downspouts

4. Condition: • Gutter or Downspout loose or damaged in one or more locations
Gutter, damaged and leaking at one or more locations around the home.

Location: Left Front

Task: Repair or replace,

Time: Immediate,



5. Condition: • Gutter discharges onto roof in one or more locations

Gutters discharging onto a lower roof will speed the wear of roof material. Recommend installing downspouts to direct water directly into lower gutters to protect the structure and prevent premature failure of roof materials.

Implication(s): Premature wear or failure of roof material

Task: Correct, Protect,

Time: Immediate,

No downspout on secondary roof



6. Condition: • [Gutter or Downspout discharge too close to home](#)

Gutter downspouts should discharge water 4-6ft from the building foundation to prevent erosion and foundation problems with settling. Extend spouts to protect structure. At a minimum, a splash block (click link above) should be placed at all downspouts to move water away from the foundation.

Task: Correct, Protect,

Time: As soon as possible,

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WINDOWS AND DOORS \ General notes

7. Condition: • Windows require regular maintenance

ONGOING RECOMMENDATION: Windows are a source of water intrusion and hidden damage over time if not properly maintained. Recommend, after purchase, regularly inspecting for cracking and REPLACE caulk around windows and other openings (such as door frames) as needed to protect structure.

Location: Throughout

Task: Monitor periodically and correct/improve as needed,

Time: Ongoing

DOORS \ Doors and frames

8. Condition: • Water damage on door or door frame.

Implication(s): Chance of damage to finishes and structure

Location: Right side

Task: Repair,

Time: As soon as practical,



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DOORS \ Exterior trim

9. Condition: • Water damage on door trim.

Implication(s): Chance of damage to finishes and structure

Task: Repair or replace,

Time: Immediate,



LANDSCAPING \ General notes

10. Condition: • Tree limbs touching house- Trim trees

Trees in contact or close contact will damage the home and should be regularly trimmed to prevent contact. Ensure you trim to prevent contact in wind storms as well.

Location: Left Rear

Task: Trim trees/ Regular maintenance

Time: Immediate,



LANDSCAPING \ Fence

11. Condition: • Gate damaged

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Gate hinges are severely corroded and and off. This is bending the frame of the hinge. Replaced as needed.

Implication(s): Reduced operability

Task: Repair or replace,

Time: Immediate,



Inspections & Limitations

Inspection limited/prevented by: • Storage in garage

General System Info

General: • Scope of Structure Inspection:

The inspector shall inspect all structural components including foundations, floors, walls, ceilings and roof. The home inspector shall describe the type of foundation, floor structure, wall structure, ceiling structure and roof structure. The inspector is NOT required to provide engineering or architectural services or analysis, offer an opinion about the adequacy of structural systems and components, enter under-floor crawlspace areas that have less than 24 inches of vertical clearance between components and the ground or that have an access opening smaller than 16 inches by 24 inches, traverse attic load-bearing components that are concealed by insulation or by other materials. Water damage noted anywhere in this report is recommended to be fully evaluated to identify damaged structure that requires immediate repair. Water entry in any area of the home can cause hidden water damage inside walls, ceilings, the attic, under or behind cabinets, under floors etc. Water damage inside walls can promote bacterial growth and cause additional health issues.

Configuration: • Slab-on-grade**Exterior wall construction:** • Concrete block**Roof and ceiling framing:** • [Trusses](#)

Observations & Recommendations

ROOF FRAMING \ Rafter/trusses**12. Condition:** • [Mechanical damage](#)

No truss can be cut or damaged. This is part of a three truss package and although very strong, should be evaluated for repair by a qualified professional engineer as a truss is an engineered system.

Implication(s): Weakened structure | Chance of structural movement

Location: Front Right Attic beside water heater

Task: Repair

Time: Immediate,



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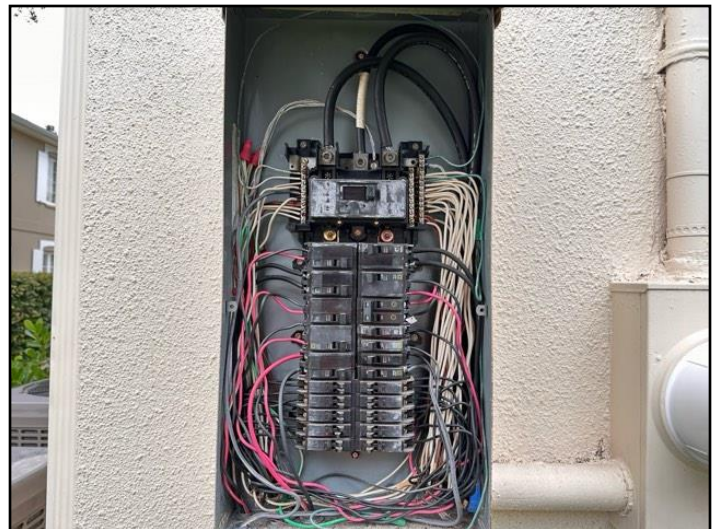
Inspections & Limitations

Attic/roof space inspection performed by:: • Inspected by walking accessible areas of attic.

General System Info

General:

- The inspector shall inspect Service Entrance conductors, raceways and amperage rating, Service equipment, Service grounding, main disconnect (breaker), interior of main and sub panels, branch circuit conductors (visible wiring), over current devices (breakers), Arc Fault breakers, the operation of readily accessible ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls, ground fault circuit interrupters, and Carbon Monoxide & Smoke detectors (detectors part of a central/monitored system will not be operated). The inspector shall describe Service amperage and voltage, location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector is NOT required to determine circuit labeling accuracy, insert any tool, probe, or testing device inside the panels, test or operate any breakers except Ground fault & Arc fault circuit interrupters (Arc fault breakers in occupied homes will not be tested to prevent damage to equipment), dismantle any electrical device or control other than to remove the covers of the main and sub panels or inspect low voltage systems, security system devices, heat detectors, effectiveness of carbon monoxide detectors, telephone, security, cable TV, intercoms, built in vacuum equipment, or other ancillary wiring that is not a part of the primary electrical system.
- General View of Electrical



Service size: • [200 Amps \(240 Volts\)](#)

Distribution panel type and location: • Breakers - exterior

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCI- bathroom & kitchen

Smoke alarms (detectors): • Antiquated and not reliable. Replace for occupant safety

Carbon monoxide (CO) alarms (detectors): • Carbon Monoxide (CO) alarms are present in the home. They are only tested to determine if the alarm works, not the effectiveness of detecting CO gas or the alarm's age during a home inspection.

Observations & Recommendations

RECOMMENDATIONS \ General

13. Condition: • [Appliances & electric panels are not researched for recalls](#)

NOTE:

Manufacturer recalls are a regular occurrence. Items in the home are not researched for recalls during a home inspection. Any item mentioned for recall in your report is done for items with known safety issues and does not constitute every item in your home being fully researched. Recommend you research all appliances and components in the home for active recalls on manufacturer sites or the link provided (Consumer Product Safety Commission). There are numerous sites you can use through a Google Search.

Task: Research appliances for recalls

Time: Regularly,

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

14. Condition: • Circuits not labeled

One or more breakers not labeled or mislabeled- Unknown use. Obtain disclosure from seller and properly label before closing or have electrician determine use and properly label.

Implication(s): Safety hazard | Risk of electric shock

Task: Correct, 4- POINT FAILURE

Time: Immediate,



SERVICE BOX, GROUNDING AND PANEL \ Distribution Panel fuses/breakers

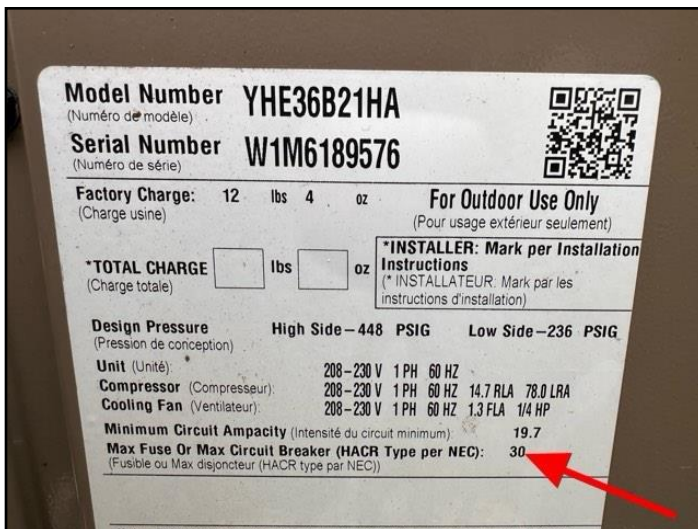
15. Condition: • Breaker Oversized for equipment/system

Breakers are sized for the equipment, system or circuit they supply as required by the manufacturer. Oversizing breakers can cause damage to the equipment, electric shock or fire due to not tripping (stopping power to the circuit) when a fault occurs. Recommend evaluation & correction as required by a licensed professional electrician to verify all equipment breakers are properly sized.

Implication(s): Equipment damage | Fire hazard

Task: Repair, 4-POINT FAILURE

Time: Immediate,



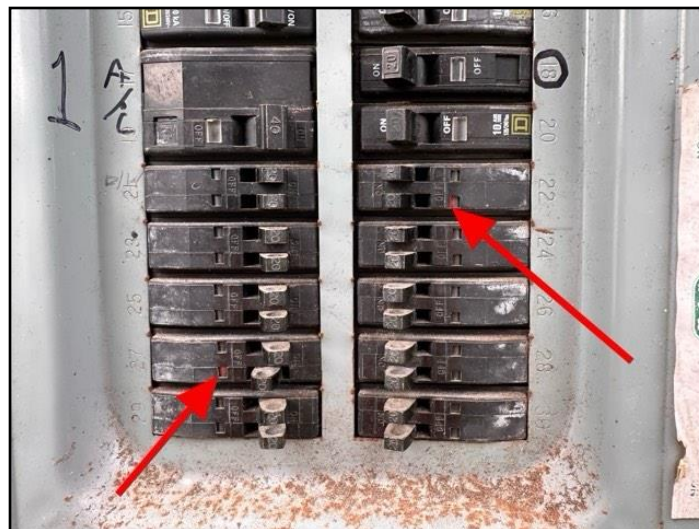
16. Condition: • Breaker found tripped

Breakers are designed to trip in this half on-half off position to indicate a problem and protect components and persons. The cause of the trip should be determined prior to resetting the breaker to prevent damage or injury. Tripped breakers are not reset during a home inspection.

One breaker is tripped, but the other breaker shows tripped, but is still in the on position.

Task: Repair, 4-POINT FAILURE

Time: Immediate,



DISTRIBUTION SYSTEM \ Outlets (receptacles)

17. Condition: • GFCI protection missing where required

Receptacles (outlets) within 6ft of a water source require GFCI protection. This includes, but not limited to sinks, tubs, outdoor receptacles, garage, laundry, wet bars, unfinished basements, jacuzzi's, pools, etc. This can be done with individual GFCIs at key locations to protect multiple receptacles or a GFCI breaker in the panel to protect the entire

circuit. Consult a professional electrician for options.

Guidelines for GFCI receptacles include the following locations and year required:

Outdoors (1973)	Bathrooms (1975)
Garages (1978)	Kitchens Sinks w/in 6ft (1987)
Wet bar sinks (1993)	Crawl spaces (1990)
Kitchen- All Countertops (1996)	Laundry and utility sinks (2005)
Laundry areas- All Recep's (2014)	

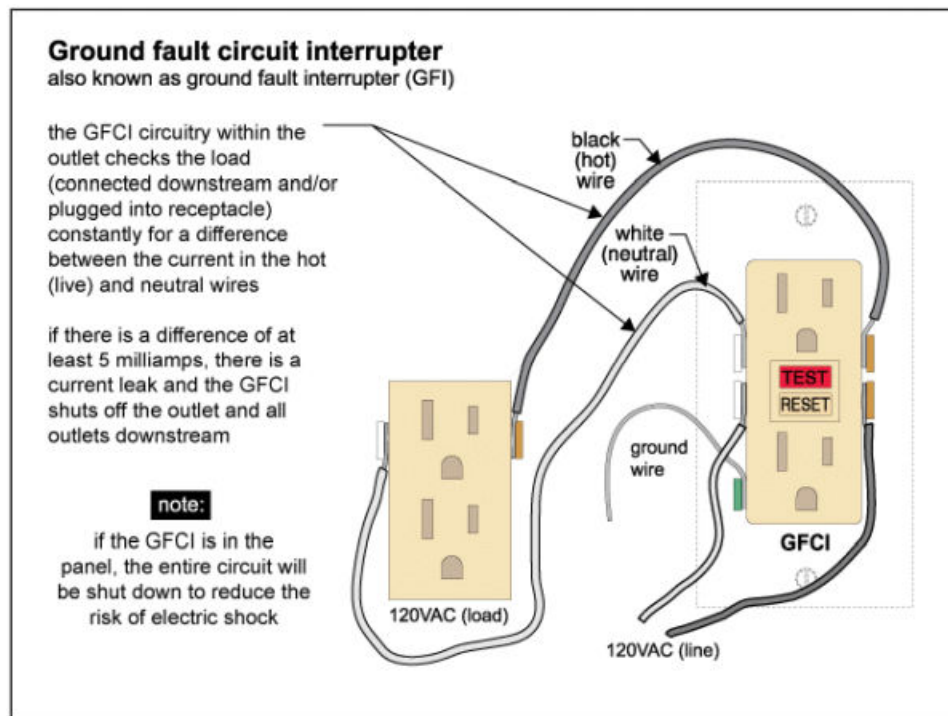
NOTE: Exterior Receptacles, including those on open or screened porches or patios must have an approved weatherproof cover.

Implication(s): Electric shock

Location: Various

Task: Replace, 4-POINT FAILURE

Time: Immediate,



ELECTRICAL

Report No. 1651

West Bayshore Court #1/2, Tampa, FL September 10, 2025

www.handyvetinspections.com

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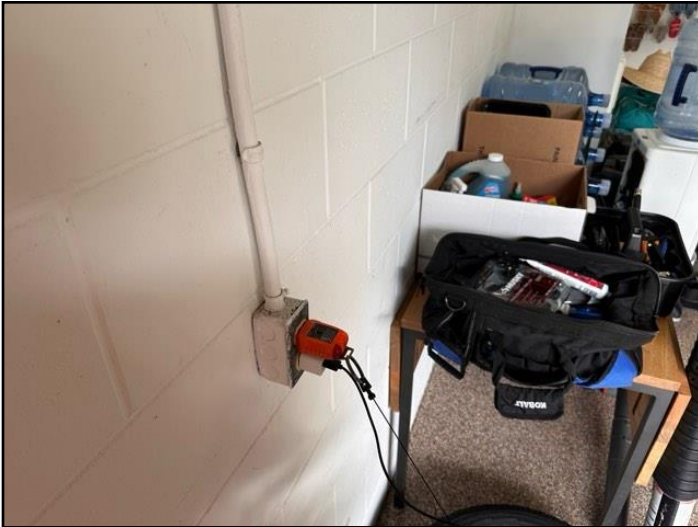
COOLING

INSULATION

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18. Condition: • [Inoperative](#)

One or more receptacle and/or light switch was inop during the inspection. No switches or GFCIs were found to operate these receptacles as a switched/protected receptacle.

These receptacles also require GFCI protection, which was not able to be verified during the inspection.

Implication(s): Equipment inoperative

Location: Various

Task: Repair, 4-POINT FAILURE

Time: Immediate

**DISTRIBUTION SYSTEM \ Cover plates**

19. Condition: • Coverplate missing, loose or damaged- Required

Junction Boxes (JBox) & receptacles (switches & outlets) require serviceable cover plates. If a switch or outlet is not needed, all wiring should be terminated with a wire nut and protected with a cover plate.

Implication(s): Electric shock | Fire hazard

Location: Various

Task: Repair, 4-POINT FAILURE

Time: Immediate,



DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

20. Condition: • UPGRADE Smoke & Carbon Monoxide Detectors to new standard if not already done
Effective 30 June 2024, Smoke detectors are required to meet UL 217 requirements to better protect occupants. UL 217 compliant alarms reduce the number of nuisance alerts and, more importantly, now detect smoke from synthetic materials, such as polyurethane foam commonly used in furniture.

Recommend you verify all smoke alarms meet this requirement and upgrade as needed to better protect your family. This can be confirmed by looking for UL 217 on the label on the back of the alarm. If your home was built before June 2024 and you have not already done so, your alarms should be upgraded.

NOTE: Verification of any smoke alarm's UL 217 compliance is not included in a home inspection. Any mention of smoke detectors/alarms is done as a courtesy and does not constitute inspection of every alarm/detector in the home. Integrated smoke alarms/ detectors that are part of a monitored alarm system are not inspected during a home inspection. These should be upgraded by a representative from your alarm service company.

Task: Upgrade,

Time: Immediate,

General System Info

General: • The home inspector shall observe permanently installed heating systems including: Heating equipment; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, duct insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or the uniformity or adequacy of heat supply to the various rooms.

Heating system type: • [Heat pump](#) • Air Handler with backup heat strips installed. This system is designed to work in conjunction with the heat pump. If the heat pump is unable to satisfy the heating needs or fails to operate in heat mode, the heat strips will power on to provide some heat.

NOTE: These heat strips are not designed to heat the home as efficiently as the properly sized heat pump. Contact an HVAC technician if you feel your system is not heating properly.

Fuel/energy source: • [Electricity](#)

Heat distribution: • Ducts and registers

Approximate capacity: • [5 kW](#)

Fireplace/stove:

• [Wood-burning fireplace](#)



Chimney/vent: • [Metal](#)

Chimney liner:

• [Metal](#)



Observations & Recommendations

FIREPLACE \ General notes

21. Condition: • Recommend Level 2 Chimney Inspection

A typical home inspection does not conduct inspection on the interior components of a chimney which includes a scope of the flue and other hidden/inaccessible areas. Recommend obtaining a Level 2 inspection of the fireplace and chimney to protect occupants and structure.

Task: Level 2 chimney inspection

Time: Before first use

Inspections & Limitations

General: • Heating system not tested for a Heat Pump if outdoor temperature is over 70 degrees to prevent damage to HVAC system. Recommend system be fully tested during next scheduled service.

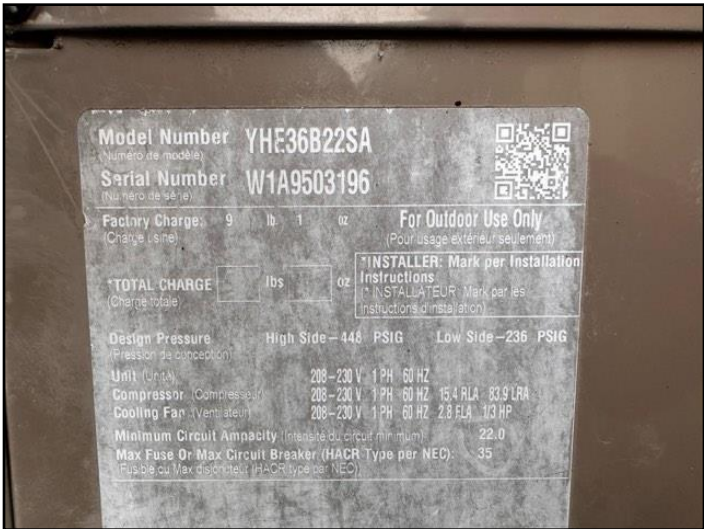
Inspection prevented/limited by: • Chimney interiors and flues are not inspected • Top of chimney too high to see well

Fireplace/wood stove: • Quality of chimney draw cannot be determined during a home inspection

General System Info

General:

- The home inspector shall observe permanently installed cooling systems including: Cooling equipment; Normal operating controls; Automatic safety controls; vents, where readily visible; Cooling distribution systems including fans, pumps, ducts and piping, with supports, duct insulation, air filters, registers, radiators, and fan coil units. The inspector shall describe: Energy source, cooling equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The inspector is not required to: Operate cooling systems when weather conditions or other circumstances may cause equipment damage; Determine the effectiveness of Ultraviolet lighting within a system; Operate automatic safety controls; or Observe: The interior of ducts/vents; Humidifiers; Electronic air filters; or determine the uniformity or adequacy of cooling supply to the various rooms.
- General View of HVAC System



COOLING & HEAT PUMP

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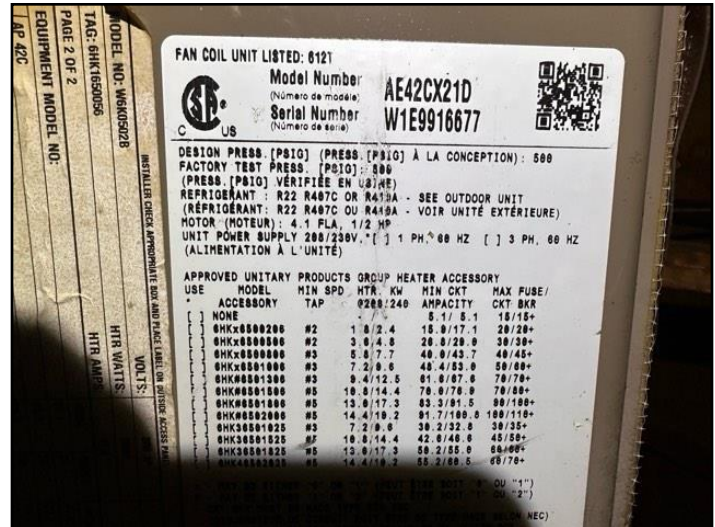
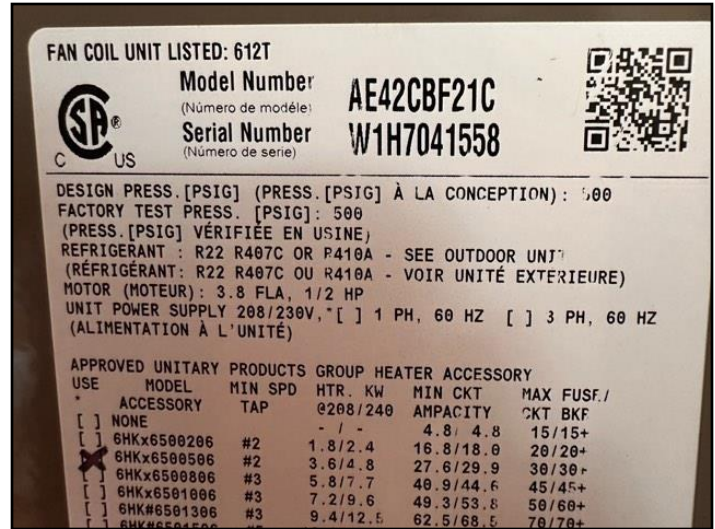
COOLING

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Air conditioning type: • Heat Pump

Cooling capacity:

• 3 Tons

Both first and second floor systems

A/C Compressor & Air Handler Age: • 6 years • 9 years

Temperature difference across cooling coil:

• Acceptable temperature difference: estimated 14° to 22°. A basic temperature differential is determined by measuring the temperature on each side of the air handler coils. These values are subtracted from each other to determine the temperature differential and give a basic indication of the unit's operation. This method only determines whether the system is operating correctly during the inspection and does not verify the serviceability or life expectancy of the system.

• 14°

COOLING & HEAT PUMP

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• 23°



• This suggests good performance in cooling mode. Regular service and monthly filter replacement is recommended to ensure reliability and efficiency of the system.

Condensate system: • Discharges to exterior

Observations & Recommendations

RECOMMENDATIONS \ General

22. Condition: • Recommend annual servicing by a professional HVAC company. This will increase the life of the entire HVAC system by keeping critical areas clean and ensure worn components are identified. Systems that are not cleaned regularly are more prone to failure and/or increased heating and cooling costs. Additionally, recommend owner/occupant replace return filter monthly.

Task: Service component,

Time: Regular maintenance

COOLING & HEAT PUMP

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AIR CONDITIONING \ Condensation drain line

23. Condition: • Condensation drain line missing insulation

Condensation drain lines should be insulated to prevent water damage to the structure.

Task: Repair, 4-POINT FAILURE

Time: Immediate,



Water damaged framing & ceiling

AIR CONDITIONING \ Ducts, registers and grilles

24. Condition: • Vent/register wrong direction- points toward a wall.

Turn vent/register around so air is directed into the living space to better condition the room and make HVAC system more efficient.

Implication(s): Decreased efficiency of HVAC

Location: Front Left Family Room

Task: Correct,

Time: As soon as possible,



COOLING & HEAT PUMP

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25. Condition: • Ducts poorly connected

Ducts are poorly connected at one or more locations. Duct connections should be sealed with a mastic paste to better seal and reduce leakage at joints.

All connections, especially those at ceiling penetrations should be sealed properly.

Task: Repair,

Time: As soon as possible,



AIR CONDITIONING \ Evaporator / Air Handler (Interior unit)

26. Condition: • Air handler cabinet/ plenum is leaking air/ not fully sealed. Seal cabinet to ensure maximum efficiency of HVAC system.

Air handler plenum leaking air and causing organic growth. These areas should be cut out and replaced and properly sealed.

Implication(s): Reduced efficiency

Location: First floor air handler right side

COOLING & HEAT PUMP

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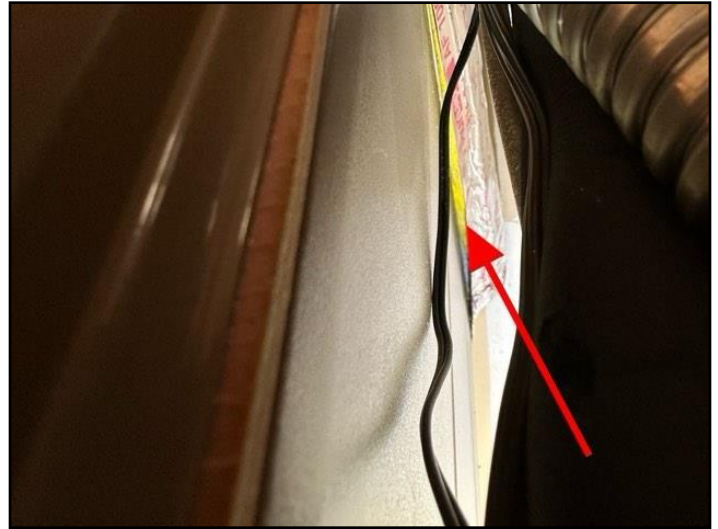
PLUMBING

INTERIOR

REFERENCE

Task: Repair,

Time: Immediate,



27. Condition: • Condensation/ Overflow drain pan has excessive corrosion or leaking

Implication(s): Chance of water damage to structure, finishes and contents

Task: Replace, 4-POINT FAILURE

Time: Immediate,



COOLING & HEAT PUMP

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									

Inspections & Limitations

Not included as part of a building inspection: • Adequacy of the Heating & Cooling system is not included during a regular home inspection as this requires special equipment and calculations. If there is a concern about the adequacy or efficiency of the system, contact an HVAC technician familiar with HVAC balancing to determine the cause and provide repair options.

INSULATION AND VENTILATION

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General System Info

General: • The inspector shall inspect: Insulation and vapor retarders in unfinished spaces if accessible, ventilation of attics and foundation areas, kitchen, bathroom, laundry, and similar exhaust systems and clothes dryer exhaust systems if accessible. The inspector will describe type of insulation and vapor retarders in unfinished spaces if visible and absence of insulation in unfinished spaces at conditioned surfaces. The inspector is NOT required to disturb any insulation.

Attic/roof insulation material: • Blown in Cellulose

Attic/roof ventilation: • Off Ridge and Soffit Vents

Inspections & Limitations

Attic inspection performed: • Walking accessible areas of attic

General System Info

General: • The inspector shall observe interior water supply and distribution system (including: piping materials, supports, and insulation), fixtures and faucets, functional flow, leaks, cross connections, interior drain, waste, and vent system (including traps, drain, waste, and vent piping), piping supports, pipe insulation, leaks, functional drainage, hot water systems (including water heating equipment), normal operating controls, automatic safety controls, chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports, leaks, and sump pumps. The inspector shall describe water supply and distribution piping materials, drain, waste, and vent piping materials, water heating equipment, and location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is NOT required to state the effectiveness of anti-siphon devices, determine whether water supply and waste disposal systems are public or private, operate automatic safety controls, operate any valve except water closet flush valves, fixture faucets, and hose faucets; observe water conditioning systems, fire and lawn sprinkler systems, onsite water supply quantity and quality, onsite waste disposal systems, foundation irrigation systems, spas (except as to functional flow and functional drainage), swimming pools, solar water heating equipment or observe the system for proper sizing, design, or use of proper materials. Water damage noted anywhere in this report is recommended to be fully evaluated to identify damaged structure that requires immediate repair. Water entry in any area of the home can cause hidden water damage inside walls, ceilings, the attic, under or behind cabinets, under floors etc. Water damage inside walls can promote bacterial growth and cause additional health issues.

Water supply source: • Public

Supply piping in building (Visible): • CPVC • Copper

Main water shut off valve at the:

- Exterior wall



Main water shutoff valve

Water heater type:

- [Conventional](#)

PLUMBING

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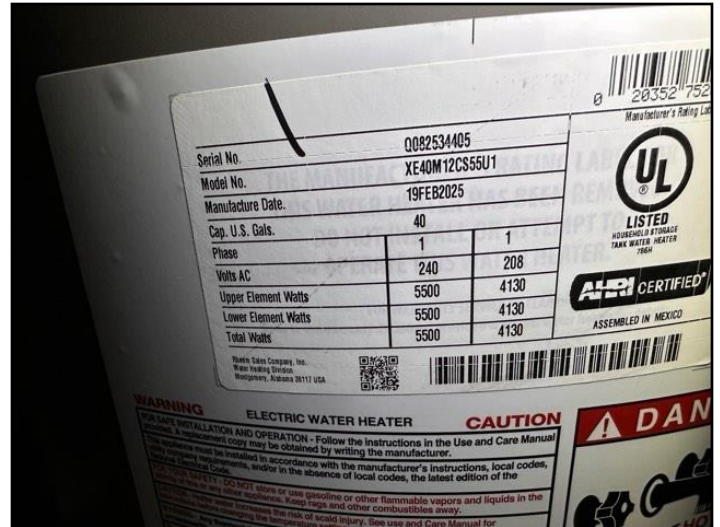
COOLING

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Water heater fuel/energy source: • Electric

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age:

- New
- First floor system
- 9 years
- Second floor system

Water heater typical life expectancy: • 10 to 15 years • [Water heaters should be flushed annually to remove sediment.](#)

All water heaters accumulate sediment in the bottom which reduces efficiency and the overall life of the unit. The link in this section is a How To on draining an electric water heater. Draining a gas water heater is the same after setting the gas valve to pilot, vacation mode or off and following instructions on the unit for reigniting the pilot when complete.

Waste disposal system: • Public

Waste and vent piping in building (Visible): • PVC

Observations & Recommendations

WATER HEATER \ General notes

28. Condition: • Water temp low- Recommend 120 degrees

Recommended water heater temp is 120 degrees. If this is an older unit, lower temps may be an indication of an aging water heater in need of repair or replacement. If this is a newer unit, adjust water heater temp closer to 120 degrees without exceeding 130, as higher temps can scald. This can simply be done by following the manufacturer's instructions for adjustment and checking water temp in approximately 30 mins. If there are mixing valves present, as in newer homes, recommend adjusting any mixing valves if temp is lower at one faucet than another after running for 2 minutes.

If the temperature does not rise accordingly, contact a licensed professional plumber for evaluation and replacement options.

Task: Adjust and replace if needed

Time: Immediate



WATER HEATER \ Tank

29. Condition: • Rust/ Corrosion on water heater or pipes

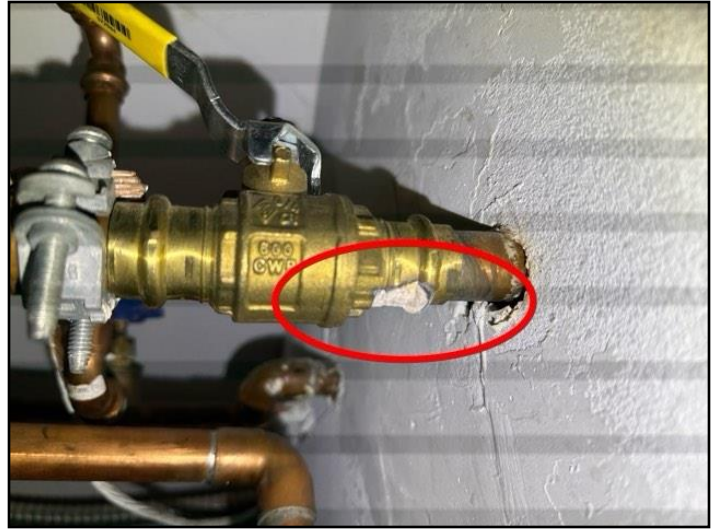
Gate valves are prone to leaking and should be replaced with a ball valve to protect the structure.

Implication(s): Chance of water damage to structure, finishes and contents | No hot water

Location: Gate valve on water heater

Task: Replace, 4-POINT FAILURE

Time: Immediate,



FIXTURES AND FAUCETS \ Toilet

30. Condition: • Loose toilet

Loose toilets may hide damage that can only be seen when toilet is pulled for repair. All additional damage to the flooring or structure should be repaired as needed. Recommend the toilet be seated with grout or silicone around the base and leave a section at the rear open to allow any leaks to present earlier and prevent future structure damage.

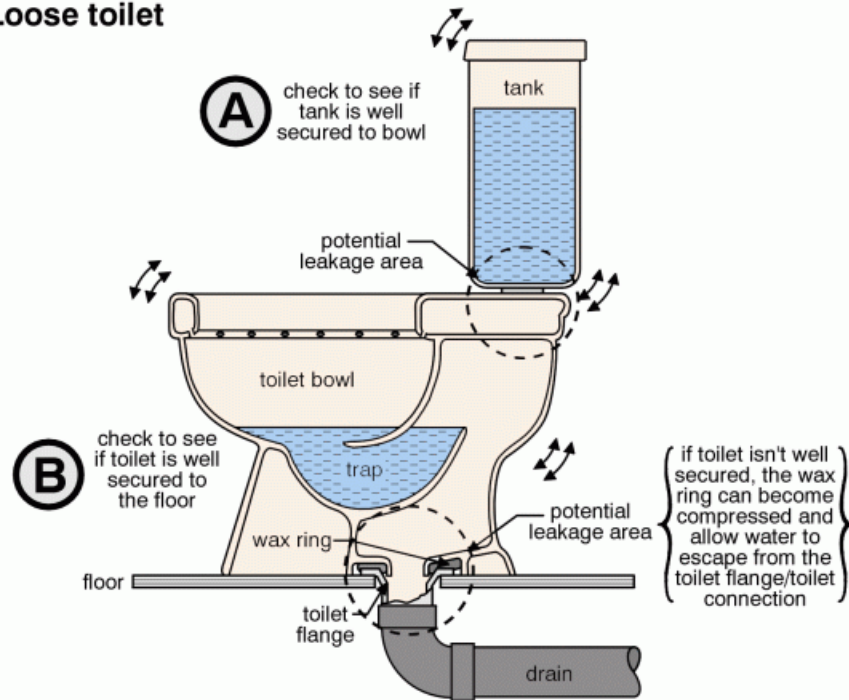
Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: Master Bathroom

Task: Repair, 4-POINT FAILURE

Time: Immediate,

Loose toilet



31. Condition: • [Broken or cracked tank lids, bowls or seats](#)

Implication(s): Chance of water damage to structure, finishes and contents | Physical injury

Location: 1st Floor Half Bath

Task: Replace,

Time: Immediate,



Inspections & Limitations

Items excluded from a building inspection:

- Irrigation systems are concealed (buried) systems and due to the time allotted, they can not be properly tested without a diagram showing the location of all components. Recommend demo/testing prior to closing to ensure full operation and location of all components or evaluation by a qualified professional.
- Water quality is not determined during a home inspection. Recommend providing a sample to a local lab if quality is a concern.
- Concealed plumbing (supply, waste and vent plumbing underground, inside walls, slabs, inaccessible areas of an attic and or crawlspace made up of but not limited to cast iron, orangeburg or other antiquated pipe) is excluded from a home inspection. If you suspect an issue with any concealed plumbing, recommend a sewer scope of system to determine cause.

General System Info

General: • The inspector shall inspect entryway doors, windows, interior doors, garage doors, walls, ceiling, floors, steps, stairways, balconies, railings, countertops and a representative number of installed cabinets. The inspector shall inspect installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. The inspector shall operate all entryway and interior doors and a representative number of windows, operate garage doors manually or by using permanently installed controls for any garage door operator, and report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing. The inspector shall report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is NOT required to observe storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories, presence of safety glazing in doors and windows, garage door operator remote control transmitters, paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors, carpeting, draperies, blinds, or other window treatment, central vacuum systems, recreational facilities, installed and free-standing kitchen and laundry appliances, appliance thermostats including their calibration, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance, operate, or confirm the operation of every control and feature of an inspected appliance.

Observations & Recommendations

RECOMMENDATIONS \ General

32. Condition: • [Recommend Smoke/ Carbon Monoxide detector replacement / upgrade](#)

Smoke detector ages are not determined during a home inspection but should be replaced every 10 years and Carbon Monoxide detectors every 6 years. Replacing all smoke and/or Carbon Monoxide detectors throughout the home is recommended to best protect occupants and the investment translates to a safer home. All detectors should be tested monthly to ensure operation. If gas appliances are used within the home, recommend installation of carbon monoxide alarms as well.

Recommended locations for alarms is one Carbon Monoxide alarm at the garage entrance, one combination alarm outside all bedrooms and one in each bedroom for best coverage. There are combination Smoke & Carbon Monoxide Alarms available.

Task: Replace, Upgrade,

Time: As soon as possible,

CEILINGS \ General notes

33. Condition: • Water stains with high moisture detected

High moisture levels found at one or more locations inside the home. All stains or wet areas were tested with a moisture meter to determine level of moisture. Any reading over 20% is cause for further evaluation to determine source of moisture and required repairs. Determination of exact cause is beyond the scope of the home inspection.

The damaged area beneath the shower must be opened to repair.

The area in the master bedroom is due to the condensation from the air handler drain line. This area can be wiped dry and left to dry naturally without and ceiling repair, as long as staining doesn't present while drying.

Implication(s): Chance of water damage to structure, finishes and contents

Location: 1st Floor entry

Task: Further evaluation 4-POINT FAILURE

Time: Before end of contingency period.





34. Condition: • Paint peeling/failing

Paint failing in closet. Possibly due to a previous leak at the air handler in the closet. Dry during inspection. Paint to seal.

Location: 2nd Floor Hall closet

Task: Repair,

Time: As soon as possible,



Paint peeling inside closet 2nd floor hallway

CEILINGS \ Plaster or drywall

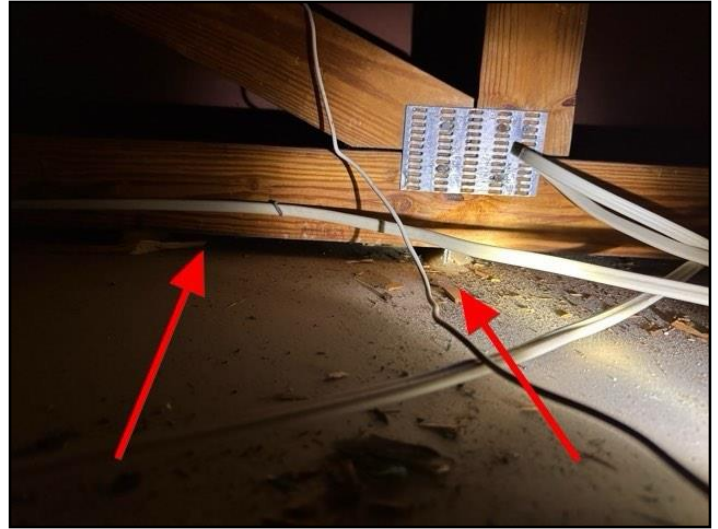
35. Condition: • [Sag](#)

Implication(s): Chance of movement

Location: Garage

Task: Repair,

Time: Immediate,



WINDOWS \ General notes

36. Condition: • Window painted/ caulked/ sealed shut and will not open. Correct fault to ensure window is accessible in emergencies.

One more windows throughout the home are painted shut and unable to easily open. Recommend repair as needed or verification of operation prior to closing. Pictures do not capture all effected windows.

Implication(s): Lack of egress in emergency | Personal injury | Loss of life

Location: Multiple windows throughout home

Task: Repair,

Time: Immediate,



DOORS \ Doors and frames

37. Condition: • [Door binds](#)

Door binds against frame, floor or other door preventing opening & closing smoothly. This condition is easily repaired by cutting, planing or sanding until door closes easily, repainting repaired area on door, adjusting the strike plate and latch or adjusting the hinges as seen in the link provided. This is only a suggestion for a minor defect. Consult a carpenter if

you do not feel comfortable with this repair.

Implication(s): System inoperative or difficult to operate

Location: 2nd Floor

Task: Repair or replace,

Time: As soon as possible,



CARPENTRY \ Cabinets

38. Condition: • Cabinet/vanity not properly mounted to prevent movement

Location: Master Bathroom

Task: Repair,

Time: Immediate,



CARPENTRY \ Countertops

39. Condition: • Countertop caulking cracked/shrunk.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Repair or replace,
Time: As soon as possible,



APPLIANCES \ Dryer

40. Condition: • Dryers and ducts require periodic cleaning to prevent potential fires

Dryers are one of the most overlooked systems in a home when it comes to cleaning because the most important part can't be seen. Dryer screens, internal components and ducts, regardless of length require regular cleaning to prevent clogs and a potential fire hazard. Lint is extremely flammable and if allowed to build up may ignite under the right conditions, damaging the structure and injuring occupants. Recommend an immediate cleaning of the entire system prior to occupying and a regular cleaning thereafter.

Implication(s): Fire, Clogged ducts, decreased dryer efficiency, higher gas/electric bills

Task: Clean,

Time: Regular maintenance

41. Condition: • Dryer vent door/ flap missing

Dryer doors are required to have a self closing door/flap to prevent entry by pests and rodents. Replacement dryer vents should be fully sealed around the exterior to prevent water entry. Additionally, dryer ducts should be cleaned regularly to prevent fire hazards.

Task: Repair or replace,

Time: Immediate,



Inspections & Limitations

Inspection limited/prevented by:

- Inspection limited by occupant's personal items, storage and or furniture. Personal items and furniture are not moved during an inspection. These items may cover a defect that should be identified during a pre-closing walk through.
- Washer and/or Dryer filled with clothes
- Storage in closets and cabinets / cupboards
- Personal items stored in garage

Not included as part of a building inspection:

- Window seals are not inspected. Windows with double or triple paned glass are typically sealed with an inert gas inside to assist in insulating the inside living space. These seals may fail with no indication of failure. There is no method of testing the seal during an inspection. If the window is clouded or discolored this is a sign of seal failure and if visible at the time of the inspection the defect will be noted in the report. If you see clouding or discoloring at a later date consult a licensed window installer for repair or replacement options.
- Vermin, including wood destroying organisms.
- Security systems and intercoms
- Central Fire Alarm System installed in lieu of smoke detectors and not included in a home inspection. Recommend this system be fully inspected/tested by a licensed professional installer of these systems prior to end of inspection period.
- Termite bait stations or drill points seen around foundation indicating a previous treatment. Recommend obtaining disclosure from owner and any transferable warranty information.



Appliances:

- Appliances are inspected using basic operating controls and not evaluated for effectiveness. Dish and Clothes Washer's are inspected using normal controls and are not run through an entire cycle, but only operated to determine temperature/basic fill and drain functions. Refrigerators are inspected to ensure the separate areas are operating and installed ice and water dispensers are operating. Refrigerators are not moved to determine water valve status/condition. Permanently installed appliances include clothes dryers, microwaves, ovens, cooktop ranges, freestanding stoves etc and are only operated to determine if the elements work, they are not inspected to determine effectiveness. Freestanding microwaves or toaster ovens are not included in a home inspection.
- Disconnected appliances: breakers and disconnected plugs are not turned on/connected and are excluded from inspection.
- Induction range/stove can not be fully tested without the correct pot/ pan to engage the element. Not pan was present to fully test. Recommend demonstration of operation prior to closing.

INTERIOR

Report No. 1651

West Bayshore Court #1/2, Tampa, FL September 10, 2025

www.handyvetinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

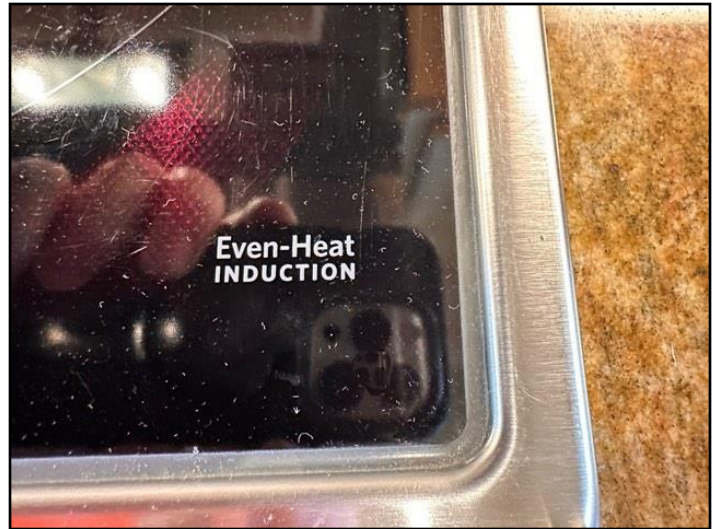
PLUMBING

INTERIOR

REFERENCE



Induction range not tested



Steel pans required to operate

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS