

Inspection Report



Excellence in Home Inspection

FOR THE PROPERTY AT:

South Beverly Avenue
Tampa, FL 33609

PREPARED FOR:

AWESOME CLIENT

INSPECTION DATE:

Tuesday, July 1, 2025

INSPECTED BY:

Derle Parmer, HI11344



**Handy Vet
Inspections**



Handy Vet Inspections LLC
Serving the Tampa Bay Area
Tampa, FL 33629

813-981-2008

www.handyvetinspections.com
Derle@HandyVetInspections.com



July 3, 2025

Dear Awesome Client,

RE: Report No. 1630
South Beverly Avenue
Tampa, FL
33609

Thank you for choosing Handy Vet Inspections to perform your home inspection. The inspection itself and the attached report comply with the requirements of the State of Florida Standards of Practice. This document defines the scope of a home inspection.

Clients sometimes assume a home inspection will include many things that are beyond the scope. Please read the Standards of Practice to clearly understand what is included in the home inspection and report.

The report and all pictures are the property of Handy Vet Inspections LLC and are prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein.

The report is a snapshot of the visible and accessible areas of the house, recording the conditions on a given date and time. Home Inspectors cannot predict future behavior, and as such, are not responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update your report prior to your closing if time permits.

The report itself is copyrighted, and may not be used in whole or in part without Handy Vet Inspections' express written permission.

Again, thank you for choosing Handy Vet Inspections to perform your home inspection. You had a choice and your choice is appreciated.

Sincerely,

Derle Parmer
on behalf of
Handy Vet Inspections LLC

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SUMMARY

Report No. 1630

South Beverly Avenue, Tampa, FL July 1, 2025

www.handyvetinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOL / SPA -

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

OBSERVATIONS / RECOMMENDATIONS \ General

Condition: • [4-POINT REPAIR PROCESS TO OBTAIN A "CLEAN 4-POINT" FOR INSURANCE](#)

Defects listed as 4-POINT FAILURES in this report are required to be repaired to clear your 4-Point Insurance form to send to your insurance agent.

- Once all 4-POINT FAILURES are completed, provide a copy of all receipts and pictures clearly showing repairs to obtain a "Clean 4-Point". Detailed receipts and/or clear pictures may be accepted for verification of repairs at the discretion of the inspector.
- A paid Reinspection may be required at the discretion of the inspector.
- IF a copy of the failed 4-POINT is requested, there will be an additional charge required prior to completion. The repair list below clearly shows all 4-POINT FAILURES and any additional items you and your agent added.
- Send ONLY your "Clean 4-POINT" to your insurance agent. DO NOT send your full Home Inspection Report.

Condition: • Tree limbs touching roof

Tree limbs touching roof will speed the deterioration or damage roofing material and structure. All limbs that touch or have the potential to touch the roof material or home should be trimmed regularly.

Implication(s): Damage to roof and structure

Location: Right Rear

Task: Trim trees,

Time: Immediate,

Exterior

WALLS \ Siding and trim

Condition: • Water damaged

One or more areas around home are water damaged. All areas of trim and uncaulked seams for siding should be evaluated for water intrusion and repaired as needed. Further hidden damage may be found when removing materials for repair.

Wood framed homes of this age typically have water damaged siding as well as insect damage. Recommend a WDO inspection before end of inspection period.

Location: Various areas around home

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Task: Repair or replace, Recommend WDO Inspection

Time: Immediate,

PORCHES, DECKS, STAIRS, PATIOS AND BALCONY \ Stairs and landings

Condition: • [Stair rise too big or not uniform](#)

Stair spacing from step to step should be no more than 7-3/4 inches with no more than 3/8 of an inch difference. These stairs are incorrectly built/designed and should be replaced.

Implication(s): Trip or fall hazard

Task: Replace,

Time: Immediate,

LANDSCAPING \ General notes

Condition: • Too close to grade or wood/soil contact

Wood framed wall in contact with soil will allow moisture and insect damage over time. Water damage present in one or more locations. Remove soil at least 4-6 inches to protect structure.

Hidden damage may be present and only seen when materials are removed for repair.

Implication(s): Chance of water entering building | Weakened structure | Rot | Insect damage

Task: Repair, Protect,

Time: Immediate,

LANDSCAPING \ Walkway

Condition: • Settlement

Task: Repair,

Time: Immediate,

GARAGE \ Garage doors (Vehicle)

Condition: • Damage

Task: Repair or replace,

Time: Immediate,

Structure

FOUNDATIONS \ Performance opinion

Condition: • Further evaluation required

Multiple visible issues require further evaluation by a qualified foundation professional. Multiple areas where improper supports are placed to carry the load above. Additionally, wood supports in direct contact with soil and rot is present.

Implication(s): Chance of structural movement

Task: Further evaluation by qualified professional,

Time: Immediate,

FLOORS \ Joists

Condition: • [Slope](#)

Floors not level in one or more locations in the home. Floors slope in one or more locations where settlement issues may be present. Recommend further evaluation prior to end of inspection period to determine repair options and costs.

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Implication(s): Chance of structural movement

Task: Repair,

Time: Based on foundation evaluation recommendations

Electrical

SERVICE DROP AND SERVICE ENTRANCE \ Service size

Condition: • Inadequate service size for this home. Recommend further evaluation by a licensed professional electrician to determine proper size wire based on a complete load calculation.

Based on this wiring manufacturers specifications, this wire (2/0 copper) is only rated for 175amps. The panel, however, has a 200 amp breaker.

Recommend evaluation and correction as needed by a qualified professional electrician.

Implication(s): Interruption of electrical service

Task: Further review by qualified expert prior to end of inspection contingency period, 4-POINT FAILURE

SERVICE BOX, GROUNDING AND PANEL \ System grounding

Condition: • Bonding (for Gas Piping) - missing or not visible. Recommend evaluation by a licensed professional electrician or gas company to determine bonding.

Gas systems are required to be bonded to the electrical system. This bond can be either at the meter or another location within the home. A visible bonding connection was not found during the inspection and should be verified to be properly bonded to the electrical system for safety of occupants and structure.

NOTE: This home is piped with a CSST gas piping and may be bonded in a location that is not visible. Recommend this be verified and corrected as needed by a qualified professional.

Task: Repair, 4-POINT FAILURE

Time: Immediate,

SERVICE BOX, GROUNDING AND PANEL \ Panel wires

Condition: • Antiquated cloth wrapped wire present- consider replacement

Antiquated (cloth wrapped rubber insulated) wire present. This wire deteriorates and cracks, exposing the conductor and increases the risk of fire hazard.

Recommend evaluation for this and similar wire replacement.

Task: Further evaluation by licensed professional,

Time: As soon as possible,

DISTRIBUTION SYSTEM \ Wiring (wire) - installation

Condition: • Wires in contact with ground and not secured properly to structure

Multiple wires in crawlspace are not secured to structure and are in contact with the ground.

Location: Left Side Crawl Space

Task: Repair, 4-POINT FAILURE

Time: Immediate,

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Condition: • Cloth wiring was observed in the main panel and throughout the home during inspection. Recommend discussing this find with your insurance company and ensure you can obtain coverage.

Task: Further evaluation by licensed tradesman,

Time: Before end of inspection contingency period

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • GFCI protection missing where required

Receptacles (outlets) within 6ft of a water source require GFCI protection. This includes, but not limited to sinks, tubs, outdoor receptacles, garage, laundry, wet bars, unfinished basements, jacuzzi's, pools, etc. This can be done with individual GFCIs at key locations to protect multiple receptacles or a GFCI breaker in the panel to protect the entire circuit. Consult a professional electrician for options.

Guidelines for GFCI receptacles include the following locations and year required:

-

Outdoors (1973)

Bathrooms (1975)

Garages (1978)

Kitchens Sinks w/in 6ft (1987)

Wet bar sinks (1993)

Crawl spaces (1990)

Kitchen- All Countertops (1996)

Laundry and utility sinks (2005)

Laundry areas- All Recep's (2014)

NOTE: Exterior Receptacles, including those on open or screened porches or patios must have an approved weatherproof cover.

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Implication(s): Electric shock

Task: Replace, 4-POINT FAILURE

Time: Immediate,

Condition: • Weatherproof cover missing or damaged

Weatherproof covers are required for all exterior receptacles including those on open or screened porches or patios.

Location: Front & Rear Porch

Task: Replace, 4-POINT FAILURE

Time: Immediate,

Cooling & Heat Pump

AIR CONDITIONING \ General notes

Condition: • High cooling supply temperature

Supply temperature for HVAC system not sufficient and indicates an issue requiring evaluation. Typical supply temps at the air handler are 52-55 degrees. This condition will cause the system to struggle to cool the home and lead to premature failure due to longer run times.

This system is set to 72 by owner and ran most of the inspection despite an overcast/ rainy day and outdoor temp of approximately 83 degrees. The home has additional insulation and this high supply temp is indicative of an aged and failing system.

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Further evaluation by a licensed HVAC technician for replacement options and costs.

Task: Repair, 4-POINT FAILURE

Time: Immediate,

AIR CONDITIONING \ Life expectancy

Condition: • HVAC system nearing end of typical life expectancy

This system is currently 15yo.

Although working during the inspection, recommend evaluation by a licensed professional technician to verify unit's reliability and replacement options/costs.

Budgeting for a new unit is recommended if replacement is not an option prior to closing.

Implication(s): Equipment failure | Reduced comfort | Higher energy costs

Task: Further eval by qualified expert prior to end of inspection period

AIR CONDITIONING \ Ducts, registers and grilles

Condition: • Duct routed in extreme angle or too long- Incorrect installation method

Flex Ducts routed in extreme angles effect the efficiency of air flow and overall effectiveness of HVAC system and the overall conditioning of the living space. Excess supply & return duct length should be trimmed and routed as straight as possible to maximize efficiency and reduce wear on the system from prolonged operation. Mastic should be used on all joints to prevent leakage.

Implication(s): Reduced system efficiency (Cool & Heat modes)

Task: Repair,

Time: Immediate,

AIR CONDITIONING \ Evaporator / Air Handler (Interior unit)

Condition: • Air handler cover not secured and pulling unconditioned attic air into system or leaking into attic.

Due to the age, recommend replacement.

Task: Replace system due to condition

Time: Immediate,

Condition: • Air handler condensation line not insulated and dripping onto structure. This antiquated system (15yo) should be replaced to prevent damage to the structure.

Task: Repair, 4-POINT FAILURE

Time: Immediate,

Condition: • Condensation/ Overflow drain pan has excessive corrosion or leaking

Excessive corrosion will lead to leaks and water damage to structure.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Replace, 4-POINT FAILURE

Time: Immediate,

Condition: • Condensation overflow pan not level

Out of level or poorly supported drain pans in an attic will cause water damage if not repaired.

Task: Repair,

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Time: Immediate,

Insulation and Ventilation

ATTIC/ ROOF/ CRAWLSPACE \ Insulation

Condition: • Subfloor insulation in crawlspace is falling and should be reinstalled/corrected to better insulate conditioned space. This will improve the efficiency of the cooling and heating system.

Insulation falling in one or more locations in the crawlspace. Subfloor insulation is not installed throughout the entire home, but should be repaired where present.

Implication(s): Increased heating and cooling costs.

Location: Throughout Crawl Space

Task: Repair or replace,

Time: Immediate,

Plumbing

SUPPLY PLUMBING \ Water supply piping in building

Condition: • Water pipes not insulated to protect from cold temperatures

All water pipes exposed to the exterior and hot water piping located outside the conditioned space are required to be insulated to a minimum value of R3.

One or more pipes on the exterior or in the attic require insulation to protect from freezing and possible water damage to the structure.

Proper supports should be added to horizontal runs as well.

Location: Garage

Task: Repair, 4-POINT FAILURE

Time: Immediate

GAS SUPPLY \ Gas piping

Condition: • Corrugated Stainless Steel (CSST) gas pipe unsupported and/or routed across ground CSST gas pipe installed incorrectly in contact with soil. Manufacturers require this piping to be secured to the structure to prevent damage or corrosion. Although this is sleeved it should be attached to the structure.

Location: Right Rear Crawlspace

Task: Repair, 4-POINT FAILURE

Time: Immediate,

WASTE PLUMBING \ Drain piping - performance

Condition: • Cast iron pipes present - Recommend drain scope

Cast iron drain/vent piping is present in this home. This material is known to corrode from the inside out, fail over time and cause repeated backups and damage to structures. Although PVC pipe may be connected at some point in the system, many times it may be connected to the original cast iron pipe.

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For this reason it is recommended a sewer scope of drains be performed to ensure integrity of the drains and prevent future damage.

A reliable sewer scope with video and a recommendation can be obtained by calling Curt Arnold (813) 469-7443.

Task: Further review by qualified expert prior to end of inspection contingency period

Interior

CEILINGS \ General notes

Condition: • Ceiling not sealed from attic- hole/opening present

Ceilings should be completely sealed to prevent hot and humid attic air from being pulled into the living space. This may cause mold growth if conditions are ideal.

All penetrations should be fully sealed to protect structure and occupants.

Location: Middle bedroom

Task: Repair,

Time: Immediate,

Pool / Spa - Main

ELECTRICAL \ Wiring

Condition: • Pool GFCI breaker faulty/ will not trip when tested

Location: Pool Subpanel

Task: Replace, 4-POINT FAILURE

Time: Immediate,

ELECTRICAL \ Pool lights

Condition: • Inoperative

Light should be repaired to ensure proper connection for pool electrical system. Recommend obtaining repair quote prior to closing as this replacement/repair can be costly.

Task: Repair, 4-POINT FAILURE

Time: Immediate,

DESCRIPTION OF REPORT

The following report includes a Description of the home's systems and components as well as any Limitations that restricted our inspection. The most important part of your report are the Recommendation sections and Task for each item listed. It is here we identify defects in the home, including those listed above, and suggest improvements and/or corrections.

REPAIR REQUEST LIST / INSURANCE FORMS (4-POINT)

You and your agent are responsible for compiling a complete Repair Request List, within your inspection period, based on your assessment of the following home inspection report. Carefully review the Recommendation sections and

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complete ALL Tasks for each defect. If a 4-Point Insurance Report is completed in conjunction with this inspection, defects marked "4-POINT FAILURE" must be included in your Repair Request List. Failure to compile an accurate Repair Request List using this report may delay you in obtaining insurance and may incur additional out of pocket expenses the seller may not be obligated to repair. Handy Vet Inspections is not responsible for compiling your Repair Request List nor is the 4-Point Report the sole document to review for repairs.

WARRANTY OR PRE-SALE INSPECTION REPORT STANDARDS

A Warranty or Pre-Sale Inspection is intended to find defects within the home prior to a warranty expiration or listing the home for sale. This report, unless otherwise requested, will contain only defects that should be submitted to your warranty policy carrier/ builder or repaired before listing the home. All accessible areas of your home were inspected to determine what visible defects were present. There may be sections within your report that contain no information other than the standards for inspecting that area. Rest assured all accessible areas of the home were thoroughly inspected.

LIMITING FACTORS

The inspection is performed by a generalist, and in some cases, specialists are recommended to further investigate conditions identified in this report. This is very similar to the doctor who is a general practitioner, identifying a physical condition and recommending further testing by a specialist.

Home inspectors have a limited amount of time on site. The inspection provides great value, and adds considerably to your understanding of the home. However, it is not an insurance policy with a one-time only premium, no exclusions, no deductible and no limits. A home inspection does not include an examination for and not limited to: pests, rot, wood destroying insects or mold unless contractually part of this inspection. There are specialists available who can provide these services.

Where there are recommendations for further review by professionals, we recommend only contracting with licensed professionals. Use of unlicensed individuals is at your own risk whether contracted by you or the seller. Reinspections of repairs is recommended to ensure they are completed correctly and ensure compliance with insurance and or building standards.

Please read the entire report carefully and ask any questions you may have of the inspector. You are reminded that a home inspection addresses visually accessible components of the home, and does not include destructive testing or hidden defects. We will operate mechanical systems with normal homeowner controls. Where there are many systems of a similar type in a home, we inspect a representative sample. For example, we do not inspect every electrical outlet, every piece of siding, every brick or every window.

NOT A CODE INSPECTION

This General Home Inspection is not a building code-compliance inspection, but a visual inspection for safety and system defects. The Inspection Report may comment on and identify problems with systems, components and/or conditions which may violate building codes. Although safety defects and building code violations may coincide at the time of the inspection, confirmation of compliance with any building code or identification of any building code violation is not the goal of this Inspection Report and lies beyond the scope of a General Home Inspection. If you wish to ascertain the degree to which the home complies with any applicable building codes, you should schedule a building code-compliance inspection.

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WARRANTY VERIFICATION PRIOR TO PURCHASE

When a home is sold, the warranty may fully transfer to the buyer, may transfer for a shortened length of time, may transfer with limited coverage or may not transfer at all. We recommend you ask the seller how the sale of the home will affect any warranties presently covering any installed or updated system within the home. Additionally, you should confirm any seller claims by reading the warranties offered by all manufacturers, contractors and installers. The following are systems you should verify any and all warranty transfers and obtain documentation before purchasing.

Roof Decking & Shingles/Covering | Kitchen/ Household Appliances | Water Treatment Systems | Storm Shutters/Covers | Doors & Windows | Alarm Systems | Water Heater | HVAC | Current/Past Insect Treatment Plans

As you read the report, we encourage you to contact us with any questions about the report or the home.

[Home Improvement - ballpark costs](#)

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General System Info

General:

- The inspector shall observe Roof covering, Roof drainage systems, flashings, skylights, chimneys, roof penetrations and signs of leaks. The inspector shall describe the type of roof covering materials and report the methods used to inspect the roofing. The inspector is NOT required to walk on roofing deemed inaccessible or unsafe, inspect interiors of vent systems, flues, and chimneys that are not readily accessible, or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

• General View of Roof



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Sloped roofing material: • Composition shingles

Flat roofing material: • [Modified bitumen membrane](#)

Approximate age: • New

Observations & Recommendations

OBSERVATIONS / RECOMMENDATIONS \ General

1. Condition: • [4-POINT REPAIR PROCESS TO OBTAIN A "CLEAN 4-POINT" FOR INSURANCE](#)

Defects listed as 4-POINT FAILURES in this report are required to be repaired to clear your 4-Point Insurance form to send to your insurance agent.

- Once all 4-POINT FAILURES are completed, provide a copy of all receipts and pictures clearly showing repairs to obtain a "Clean 4-Point". Detailed receipts and/or clear pictures may be accepted for verification of repairs at the discretion of the inspector.
- A paid Reinspection may be required at the discretion of the inspector.
- IF a copy of the failed 4-POINT is requested, there will be an additional charge required prior to completion. The repair list below clearly shows all 4-POINT FAILURES and any additional items you and your agent added.
- Send ONLY your "Clean 4-POINT" to your insurance agent. DO NOT send your full Home Inspection Report.

2. Condition: • Tree limbs touching roof

Tree limbs touching roof will speed the deterioration or damage roofing material and structure. All limbs that touch or have the potential to touch the roof material or home should be trimmed regularly.

Implication(s): Damage to roof and structure

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Location: Right Rear
Task: Trim trees,
Time: Immediate,



Inspections & Limitations

Inspection performed: • By walking on roof

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General System Info

General:

- The inspector shall inspect wall coverings, flashing, trim, eaves, soffits, and fascias. The inspector shall describe wall cladding materials. The inspector shall inspect attached and adjacent decks, balconies, stoops, steps, porches, railings, vegetation, grading, drainage, driveways, patios, walkways, and retaining walls that are likely to adversely affect the building. The inspector is NOT required to inspect fences or boundary walls, geological & soil conditions, recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities) or presence or condition of buried fuel storage tanks, outbuildings other than garages & carports, seawalls, break-walls and docks. The inspector is NOT required to move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.
- General View of Exterior



Wall surfaces and trim: • Hardy Board/ Fiber cement

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Observations & Recommendations

EXTERIOR RECOMMENDATIONS \ General

3. Condition: • This home was built with no gutters allowing water to run off the roof next to the foundation. If allowed, it will eventually erode the soil and create a trench that will allow water to pond next to the foundation. Recommend adding gutters to move water 4-6ft away from foundation to protect home.

Implication(s): Soil erosion at foundation / Foundation settling / Cracking in walls

Location: Front porch

Task: Upgrade,

Time: As soon as practical,



ROOF DRAINAGE \ Gutters and Downspouts

4. Condition: • [Gutter or Downspout discharge too close to home](#)

Gutter downspouts should discharge water 4-6ft from the building foundation to prevent erosion and foundation problems with settling. Extend spouts to protect structure. At a minimum, a splash block (click link above) should be placed at all downspouts to move water away from the foundation.

Task: Correct, Protect,

Time: As soon as possible,

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WALLS \ General notes

5. Condition: • Paint failing in one or more locations.

New paint applied without scraping old paint.

Location: Garage

Task: Repair,

Time: As soon as possible,



WALLS \ Trim

6. Condition: • Paint or stain needed

Unpainted wood at soffit

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Left Side

Task: Improve,

Time: As soon as possible,

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WALLS \ Siding and trim

7. Condition: • Water damaged

One or more areas around home are water damaged. All areas of trim and uncaulked seams for siding should be evaluated for water intrusion and repaired as needed. Further hidden damage may be found when removing materials for repair.

Wood framed homes of this age typically have water damaged siding as well as insect damage. Recommend a WDO inspection before end of inspection period.

Location: Various areas around home

Task: Repair or replace, Recommend WDO Inspection

Time: Immediate,



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WINDOWS AND DOORS \ General notes

8. Condition: • Windows require regular maintenance

ONGOING RECOMMENDATION: Windows are a source of water intrusion and hidden damage over time if not properly maintained. Recommend, after purchase, regularly inspecting for cracking and REPLACE caulk around windows and other openings (such as door frames) as needed to protect structure.

Location: Throughout

Task: Monitor periodically and correct/improve as needed,

Time: Ongoing

PORCHES, DECKS, STAIRS, PATIOS AND BALCONY \ Stairs and landings

9. Condition: • [Stair rise too big or not uniform](#)

Stair spacing from step to step should be no more than 7-3/4 inches with no more than 3/8 of an inch difference. These stairs are incorrectly built/designed and should be replaced.

Implication(s): Trip or fall hazard

Task: Replace,

Time: Immediate,

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LANDSCAPING \ General notes

10. Condition: • Too close to grade or wood/soil contact

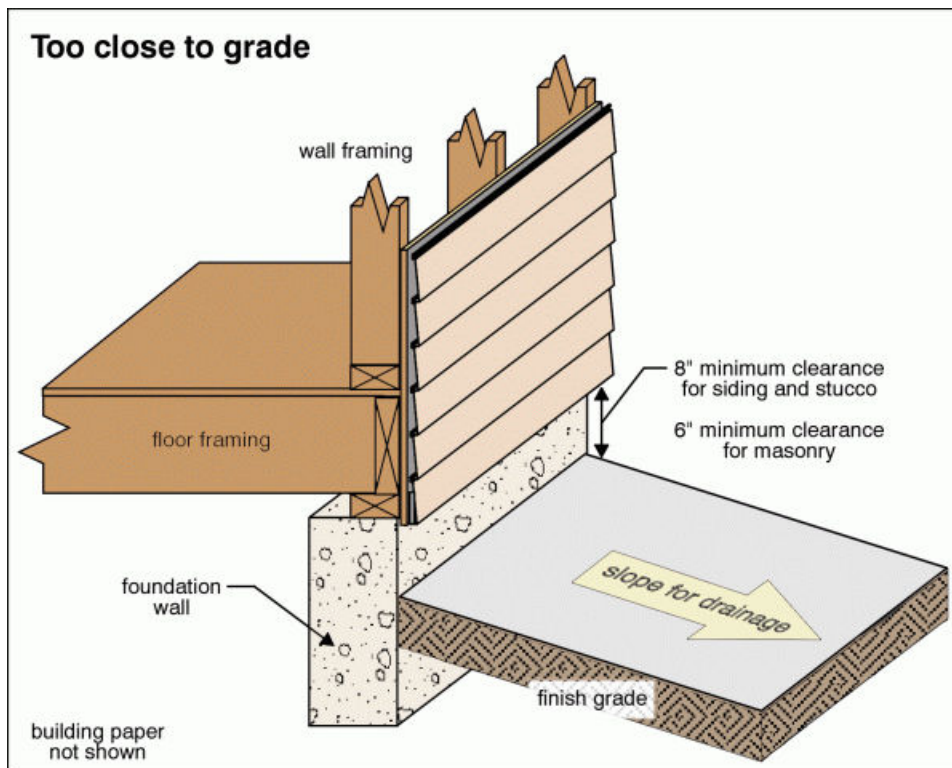
Wood framed wall in contact with soil will allow moisture and insect damage over time. Water damage present in one or more locations. Remove soil at least 4-6 inches to protect structure.

Hidden damage may be present and only seen when materials are removed for repair.

Implication(s): Chance of water entering building | Weakened structure | Rot | Insect damage

Task: Repair, Protect,

Time: Immediate,



EXTERIOR

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ROOFING

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LANDSCAPING \ Lot grading

11. Condition: • Sloped toward home in one or more location

Location: Throughout

Task: Correct, Protect,

Time: As soon as possible,



LANDSCAPING \ Walkway

12. Condition: • Settlement

Task: Repair,

Time: Immediate,

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GARAGE \ Garage doors (Vehicle)

13. Condition: • Damage

Task: Repair or replace,

Time: Immediate,



Inspections & Limitations

Inspection limited/prevented by: • Storage/personal items around exterior of home prevented inspection of the entire home. These items may hide a defect and should be inspected during your pre-closing walk through. • Storage in garage • Poor access under steps, deck, porch

General System Info

General: • Scope of Structure Inspection:

The inspector shall inspect all structural components including foundations, floors, walls, ceilings and roof. The home inspector shall describe the type of foundation, floor structure, wall structure, ceiling structure and roof structure. The inspector is NOT required to provide engineering or architectural services or analysis, offer an opinion about the adequacy of structural systems and components, enter under-floor crawlspace areas that have less than 24 inches of vertical clearance between components and the ground or that have an access opening smaller than 16 inches by 24 inches, traverse attic load-bearing components that are concealed by insulation or by other materials. Water damage noted anywhere in this report is recommended to be fully evaluated to identify damaged structure that requires immediate repair. Water entry in any area of the home can cause hidden water damage inside walls, ceilings, the attic, under or behind cabinets, under floors etc. Water damage inside walls can promote bacterial growth and cause additional health issues.

Configuration: • Stem Wall & Piers**Exterior wall construction:** • [Wood frame](#)**Roof and ceiling framing:** • Ridge Beam / Board & Rafters

Observations & Recommendations

FOUNDATIONS \ General notes**14. Condition:** • Pier Foundation (crawlspace)- Home will periodically require re-leveling**NOTE:**

All homes settle and homes built on piers, as this one, will require future periodic eveling. A pier and beam foundation is a time proven system but does require maintenance from time to time. Protection of the piers to limit water flow under the home and rodents/animals burrowing under or around foundation piers will limit the frequency of required maintenance.

Foundation/ floor level is not determined during a standard home inspection. Any obvious indications will be noted elsewhere in the report.

Task: Regular Maintenance

Time: As needed

FOUNDATIONS \ Performance opinion**15. Condition:** • Further evaluation required

Multiple visible issues require further evaluation by a qualified foundation professional. Multiple areas where improper supports are placed to carry the load above. Additionally, wood supports in direct contact with soil and rot is present.

Implication(s): Chance of structural movement

Task: Further evaluation by qualified professional,

Time: Immediate,

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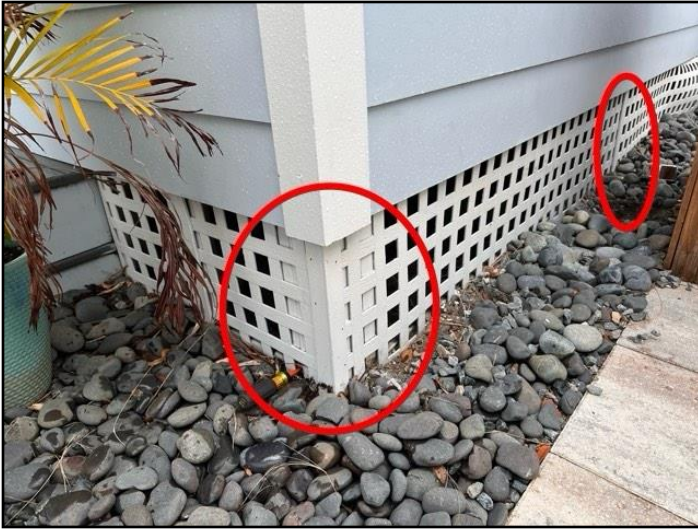
INSULATION

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Wood supports water damaged/rotten



Rotten supports



Multiple perimeter supports are wood in soil



Multiple single board supports present

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Multiple single board supports present



Multiple single board supports present



Multiple perimeter supports are wood in soil

FLOORS \ Joists

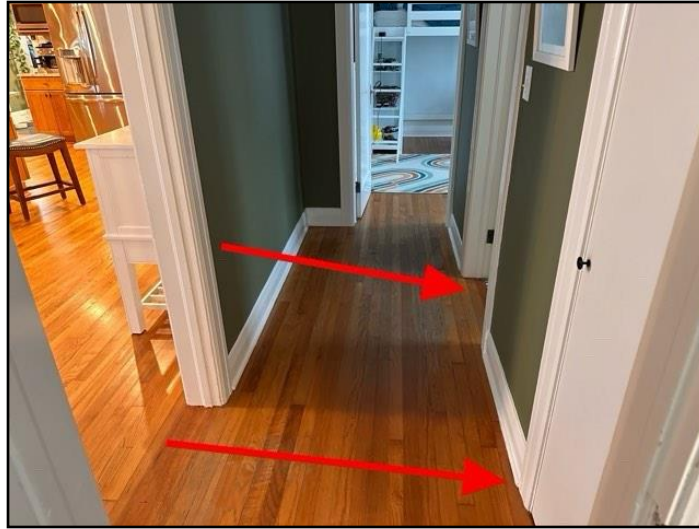
16. Condition: • [Slope](#)

Floors not level in one or more locations in the home. Floors slope in one or more locations where settlement issues may be present. Recommend further evaluation prior to end of inspection period to determine repair options and costs.

Implication(s): Chance of structural movement

Task: Repair,

Time: Based on foundation evaluation recommendations



Inspections & Limitations

Inspection limited/prevented by: • Carpet/furnishings • Storage in attic

Attic/roof space inspection performed by:: • Entered but access was limited

Crawlspace:

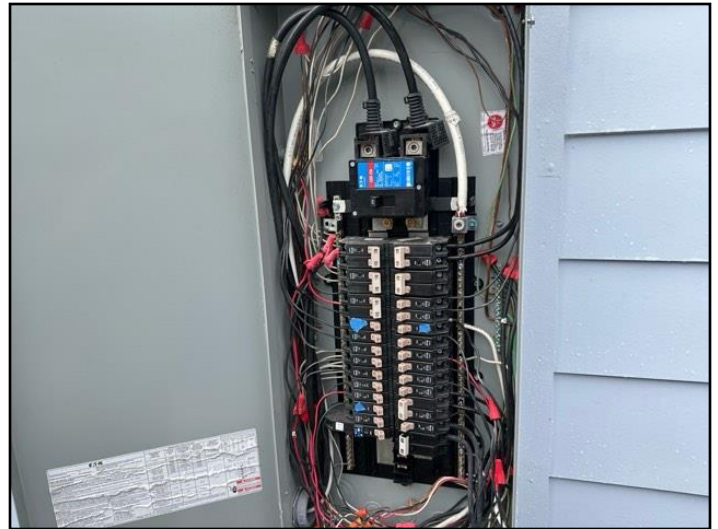
- Inspected from perimeter
- Crawlspace not accessible due to size of opening or framing preventing entry. Inspection performed from one or more locations around the perimeter.



General System Info

General:

- The inspector shall inspect Service Entrance conductors, raceways and amperage rating, Service equipment, Service grounding, main disconnect (breaker), interior of main and sub panels, branch circuit conductors (visible wiring), over current devices (breakers), Arc Fault breakers, the operation of readily accessible ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls, ground fault circuit interrupters, and Carbon Monoxide & Smoke detectors (detectors part of a central/monitored system will not be operated). The inspector shall describe Service amperage and voltage, location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector is NOT required to determine circuit labeling accuracy, insert any tool, probe, or testing device inside the panels, test or operate any breakers except Ground fault & Arc fault circuit interrupters (Arc fault breakers in occupied homes will not be tested to prevent damage to equipment), dismantle any electrical device or control other than to remove the covers of the main and sub panels or inspect low voltage systems, security system devices, heat detectors, effectiveness of carbon monoxide detectors, telephone, security, cable TV, intercoms, built in vacuum equipment, or other ancillary wiring that is not a part of the primary electrical system.
- General View of Electrical



Service size: • [200 Amps \(240 Volts\)](#)

Distribution panel type and location: • Breakers - exterior

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCI- bathroom, kitchen, garage & exterior

Smoke alarms (detectors): • Antiquated and not reliable. Replace for occupant safety

Carbon monoxide (CO) alarms (detectors): • Carbon Monoxide alarms were not found in home. CO alarms are critical to the safety of occupants in the home whether a gas appliance or attached garage is present. Recommend upgrading and installing CO alarms when occupying and replaced every 7yrs.

Observations & Recommendations

RECOMMENDATIONS \ General

17. Condition: • [Appliances & electric panels are not researched for recalls](#)

NOTE:

Manufacturer recalls are a regular occurrence. Items in the home are not researched for recalls during a home inspection. Any item mentioned for recall in your report is done for items with known safety issues and does not constitute every item in your home being fully researched. Recommend you research all appliances and components in the home for active recalls on manufacturer sites or the link provided (Consumer Product Safety Commission). There are numerous sites you can use through a Google Search.

Task: Research appliances for recalls

Time: Regularly,

SERVICE DROP AND SERVICE ENTRANCE \ Service size

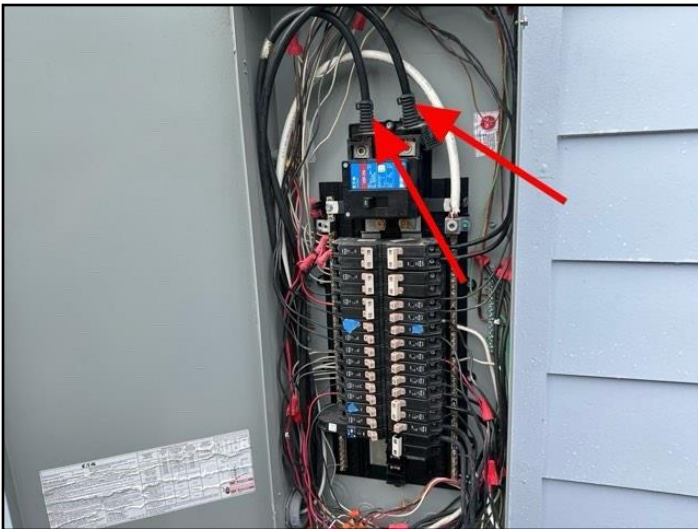
18. Condition: • Inadequate service size for this home. Recommend further evaluation by a licensed professional electrician to determine proper size wire based on a complete load calculation.

Based on this wiring manufacturers specifications, this wire (2/0 copper) is only rated for 175amps. The panel, however, has a 200 amp breaker.

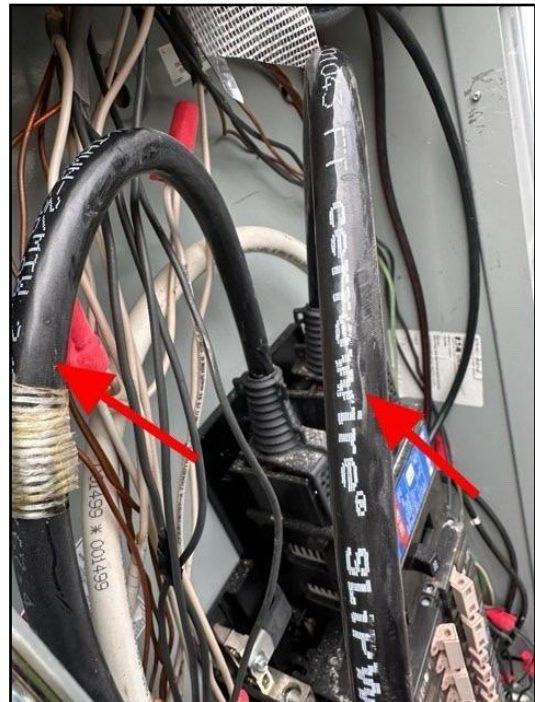
Recommend evaluation and correction as needed by a qualified professional electrician.

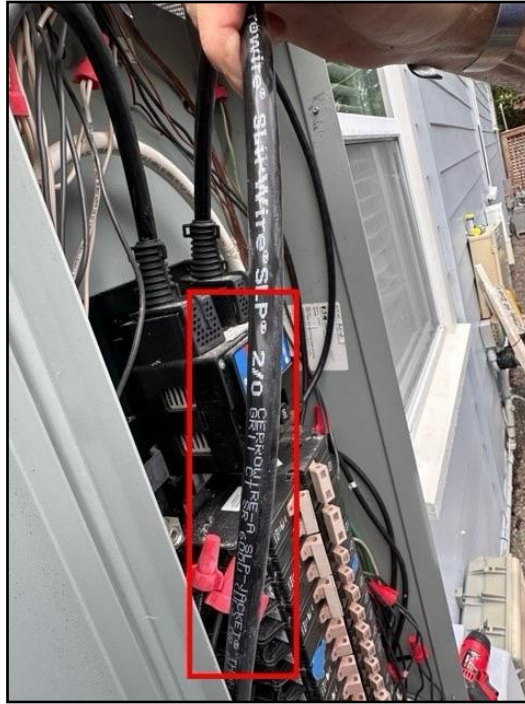
Implication(s): Interruption of electrical service

Task: Further review by qualified expert prior to end of inspection contingency period, 4-POINT FAILURE



Service wire possibly undersized





SERVICE BOX, GROUNDING AND PANEL \ System grounding

19. Condition: • Bonding (for Gas Piping) - missing or not visible. Recommend evaluation by a licensed professional electrician or gas company to determine bonding.

Gas systems are required to be bonded to the electrical system. This bond can be either at the meter or another location within the home. A visible bonding connection was not found during the inspection and should be verified to be properly bonded to the electrical system for safety of occupants and structure.

NOTE: This home is piped with a CSST gas piping and may be bonded in a location that is not visible. Recommend this be verified and corrected as needed by a qualified professional.

Task: Repair, 4-POINT FAILURE

Time: Immediate,



SERVICE BOX, GROUNDING AND PANEL \ Panel wires

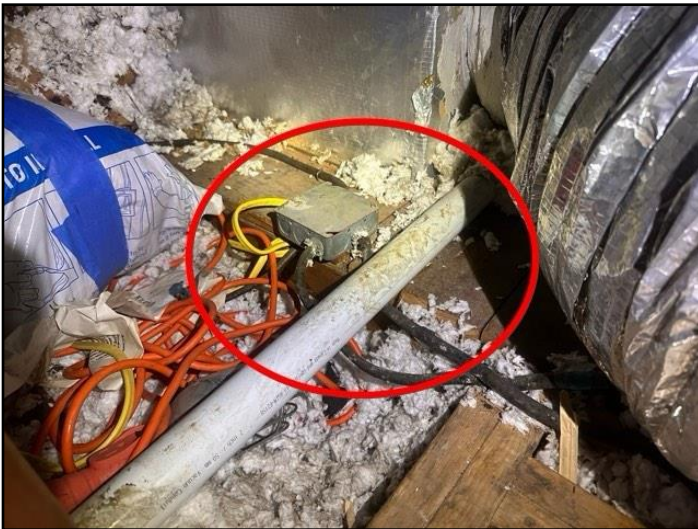
20. Condition: • Antiquated cloth wrapped wire present- consider replacement

Antiquated (cloth wrapped rubber insulated) wire present. This wire deteriorates and cracks, exposing the conductor and increases the risk of fire hazard.

Recommend evaluation for this and similar wire replacement.

Task: Further evaluation by licensed professional,

Time: As soon as possible,



DISTRIBUTION SYSTEM \ Wiring (wire) - installation

21. Condition: • Wires in contact with ground and not secured properly to structure

Multiple wires in crawlspace are not secured to structure and are in contact with the ground.

Location: Left Side Crawl Space

Task: Repair, 4-POINT FAILURE

Time: Immediate,



22. Condition: • Cloth wiring was observed in the main panel and throughout the home during inspection. Recommend discussing this find with your insurance company and ensure you can obtain coverage.

Task: Further evaluation by licensed tradesman,

Time: Before end of inspection contingency period

DISTRIBUTION SYSTEM \ Outlets (receptacles)

23. Condition: • GFCI protection missing where required

Receptacles (outlets) within 6ft of a water source require GFCI protection. This includes, but not limited to sinks, tubs, outdoor receptacles, garage, laundry, wet bars, unfinished basements, jacuzzi's, pools, etc. This can be done with individual GFCIs at key locations to protect multiple receptacles or a GFCI breaker in the panel to protect the entire circuit. Consult a professional electrician for options.

Guidelines for GFCI receptacles include the following locations and year required:

-

Outdoors (1973)	Bathrooms (1975)
Garages (1978)	Kitchens Sinks w/in 6ft (1987)
Wet bar sinks (1993)	Crawl spaces (1990)
Kitchen- All Countertops (1996)	Laundry and utility sinks (2005)
Laundry areas- All Recep's (2014)	

NOTE: Exterior Receptacles, including those on open or screened porches or patios must have an approved weatherproof cover.

.

Implication(s): Electric shock

Task: Replace, 4-POINT FAILURE

Time: Immediate,

Ground fault circuit interrupter

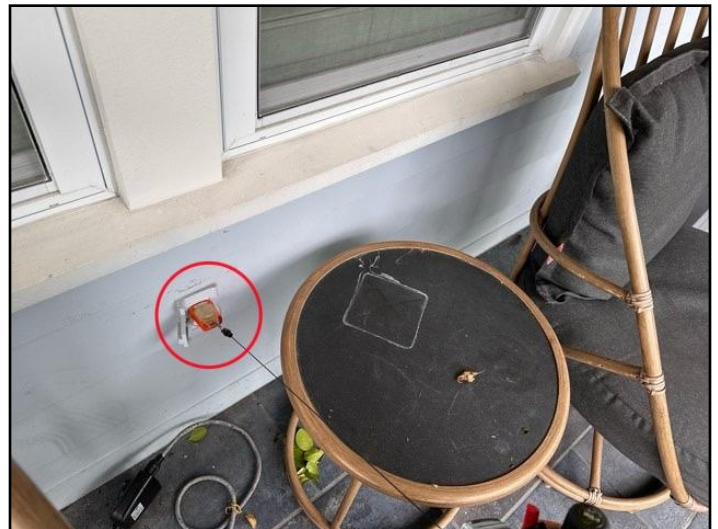
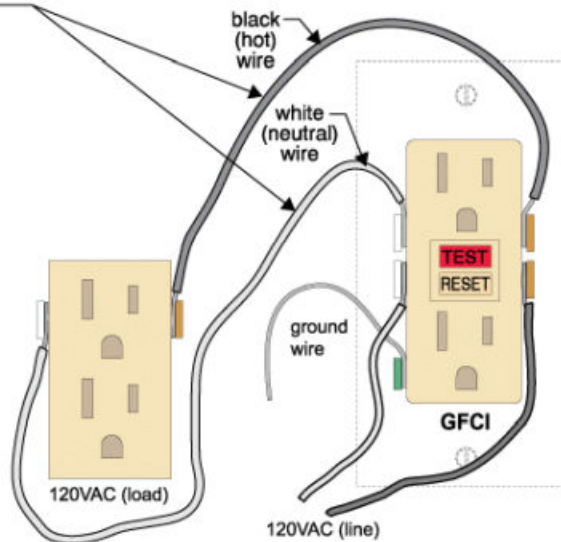
also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



24. Condition: • Weatherproof cover missing or damaged

Weatherproof covers are required for all exterior receptacles including those on open or screened porches or patios.

Location: Front & Rear Porch

Task: Replace, 4-POINT FAILURE

Time: Immediate,

ELECTRICAL

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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HEATING

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General System Info

General: • The home inspector shall observe permanently installed heating systems including: Heating equipment; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, duct insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or the uniformity or adequacy of heat supply to the various rooms.

Fuel/energy source: • [Electricity](#)

Heat distribution: • Ducts and registers

Approximate capacity: • [5 kW](#)

Inspections & Limitations

General: • Heating system not tested for a Heat Pump if outdoor temperature is over 70 degrees to prevent damage to HVAC system. Recommend system be fully tested during next scheduled service.

COOLING & HEAT PUMP

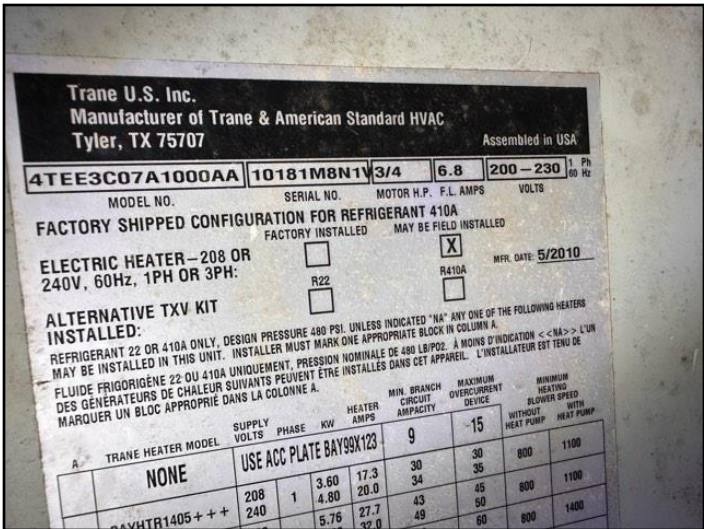
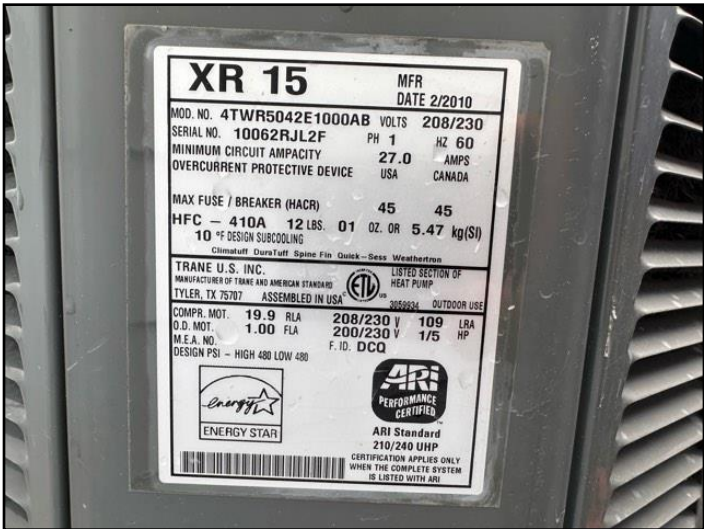
South Beverly Avenue, Tampa, FL July 1, 2025

- SUMMARY
- ROOFING
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- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
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General System Info

General:

- The home inspector shall observe permanently installed cooling systems including: Cooling equipment; Normal operating controls; Automatic safety controls; vents, where readily visible; Cooling distribution systems including fans, pumps, ducts and piping, with supports, duct insulation, air filters, registers, radiators, and fan coil units. The inspector shall describe: Energy source, cooling equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The inspector is not required to: Operate cooling systems when weather conditions or other circumstances may cause equipment damage; Determine the effectiveness of Ultraviolet lighting within a system; Operate automatic safety controls; or Observe: The interior of ducts/vents; Humidifiers; Electronic air filters; or determine the uniformity or adequacy of cooling supply to the various rooms.
- General View of HVAC System



Air conditioning type: • Heat Pump

COOLING & HEAT PUMP

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Cooling capacity: • [3.5 Tons](#)

A/C Compressor & Air Handler Age: • 15 years

Condensate system: • Discharges to exterior

Observations & Recommendations

RECOMMENDATIONS \ General

25. Condition: • Recommend annual servicing by a professional HVAC company. This will increase the life of the entire HVAC system by keeping critical areas clean and ensure worn components are identified. Systems that are not cleaned regularly are more prone to failure and/or increased heating and cooling costs. Additionally, recommend owner/occupant replace return filter monthly.

Task: Service component,

Time: Regular maintenance

AIR CONDITIONING \ General notes

26. Condition: • High cooling supply temperature

Supply temperature for HVAC system not sufficient and indicates an issue requiring evaluation. Typical supply temps at the air handler are 52-55 degrees. This condition will cause the system to struggle to cool the home and lead to premature failure due to longer run times.

This system is set to 72 by owner and ran most of the inspection despite an overcast/ rainy day and outdoor temp of approximately 83 degrees. The home has additional insulation and this high supply temp is indicative of an aged and failing system.

Further evaluation by a licensed HVAC technician for replacement options and costs.

Task: Repair, 4-POINT FAILURE

Time: Immediate,



COOLING & HEAT PUMP

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AIR CONDITIONING \ Life expectancy

27. Condition: • HVAC system nearing end of typical life expectancy

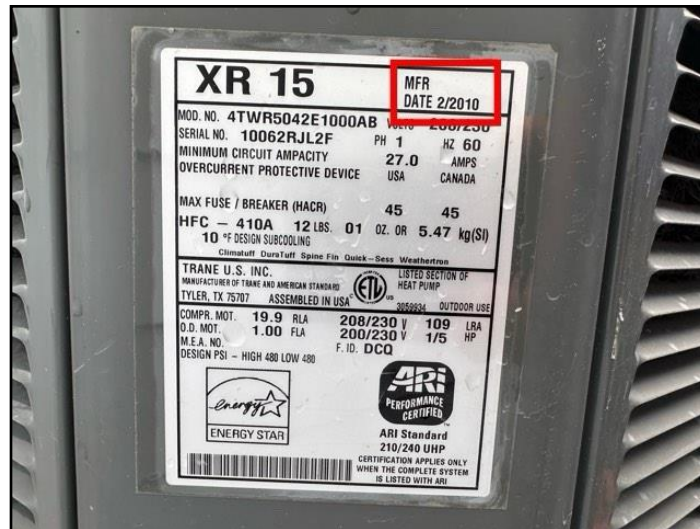
This system is currently 15yo.

Although working during the inspection, recommend evaluation by a licensed professional technician to verify unit's reliability and replacement options/costs.

Budgeting for a new unit is recommended if replacement is not an option prior to closing.

Implication(s): Equipment failure | Reduced comfort | Higher energy costs

Task: Further eval by qualified expert prior to end of inspection period



AIR CONDITIONING \ Ducts, registers and grilles

28. Condition: • Duct routed in extreme angle or too long- Incorrect installation method

Flex Ducts routed in extreme angles effect the efficiency of air flow and overall effectiveness of HVAC system and the overall conditioning of the living space. Excess supply & return duct length should be trimmed and routed as straight as possible to maximize efficiency and reduce wear on the system from prolonged operation. Mastic should be used on all joints to prevent leakage.

Implication(s): Reduced system efficiency (Cool & Heat modes)

Task: Repair,

Time: Immediate,

COOLING & HEAT PUMP

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AIR CONDITIONING \ Evaporator / Air Handler (Interior unit)

29. Condition: • Condensation/ Overflow drain pan has excessive corrosion or leaking
Excessive corrosion will lead to leaks and water damage to structure.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Replace, 4-POINT FAILURE

Time: Immediate,

COOLING & HEAT PUMP

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30. Condition: • Condensation overflow pan not level

Out of level or poorly supported drain pans in an attic will cause water damage if not repaired.

Task: Repair,

Time: Immediate,



31. Condition: • Air handler cover not secured and pulling unconditioned attic air into system or leaking into attic.

Due to the age, recommend replacement.

Task: Replace system due to condition

Time: Immediate,

COOLING & HEAT PUMP

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32. Condition: • Air handler condensation line not insulated and dripping onto structure. This antiquated system (15yo) should be replaced to prevent damage to the structure.

Task: Repair, 4-POINT FAILURE

Time: Immediate,



Inspections & Limitations

Inspection limited/prevented by: • Heat pumps are not operated in the heating mode when the outdoor temperature is above 70°F

Not included as part of a building inspection: • Adequacy of the Heating & Cooling system is not included during a regular home inspection as this requires special equipment and calculations. If there is a concern about the adequacy or efficiency of the system, contact an HVAC technician familiar with HVAC balancing to determine the cause and provide repair options.

INSULATION AND VENTILATION

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General System Info

General: • The inspector shall inspect: Insulation and vapor retarders in unfinished spaces if accessible, ventilation of attics and foundation areas, kitchen, bathroom, laundry, and similar exhaust systems and clothes dryer exhaust systems if accessible. The inspector will describe type of insulation and vapor retarders in unfinished spaces if visible and absence of insulation in unfinished spaces at conditioned surfaces. The inspector is NOT required to disturb any insulation.

Attic/roof insulation material: • Blown in Cellulose

Attic/roof ventilation: • Ridge Vent • [Gable vent](#)

Observations & Recommendations

ATTIC/ ROOF/ CRAWLSPACE \ Insulation

33. Condition: • Subfloor insulation in crawlspace is falling and should be reinstalled/corrected to better insulate conditioned space. This will improve the efficiency of the cooling and heating system.

Insulation falling in one or more locations in the crawlspace. Subfloor insulation is not installed throughout the entire home, but should be repaired where present.

Implication(s): Increased heating and cooling costs.

Location: Throughout Crawl Space

Task: Repair or replace,

Time: Immediate,



INSULATION AND VENTILATION

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Inspections & Limitations

Attic inspection performed: • By entering attic, but access was limited

General System Info

General: • The inspector shall observe interior water supply and distribution system (including: piping materials, supports, and insulation), fixtures and faucets, functional flow, leaks, cross connections, interior drain, waste, and vent system (including traps, drain, waste, and vent piping), piping supports, pipe insulation, leaks, functional drainage, hot water systems (including water heating equipment), normal operating controls, automatic safety controls, chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports, leaks, and sump pumps. The inspector shall describe water supply and distribution piping materials, drain, waste, and vent piping materials, water heating equipment, and location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is NOT required to state the effectiveness of anti-siphon devices, determine whether water supply and waste disposal systems are public or private, operate automatic safety controls, operate any valve except water closet flush valves, fixture faucets, and hose faucets; observe water conditioning systems, fire and lawn sprinkler systems, onsite water supply quantity and quality, onsite waste disposal systems, foundation irrigation systems, spas (except as to functional flow and functional drainage), swimming pools, solar water heating equipment or observe the system for proper sizing, design, or use of proper materials. Water damage noted anywhere in this report is recommended to be fully evaluated to identify damaged structure that requires immediate repair. Water entry in any area of the home can cause hidden water damage inside walls, ceilings, the attic, under or behind cabinets, under floors etc. Water damage inside walls can promote bacterial growth and cause additional health issues.

Water supply source: • Public

Supply piping in building (Visible): • CPVC • PEX (cross-linked Polyethylene)

Main water shut off valve at the:

- Meter



Main water shutoff valve

Water heater type:

- Tankless/On demand

PLUMBING

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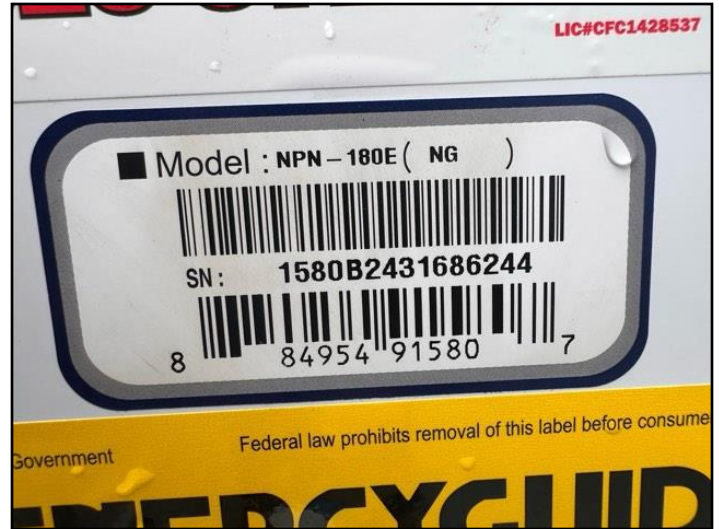
INSULATION

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Water heater fuel/energy source:

- [Gas](#)



Water heater gas shutoff valve

Water heater approximate age:

- 1 year



Water heater typical life expectancy: • 10 to 15 years • [Water heaters should be flushed annually to remove sediment.](#)

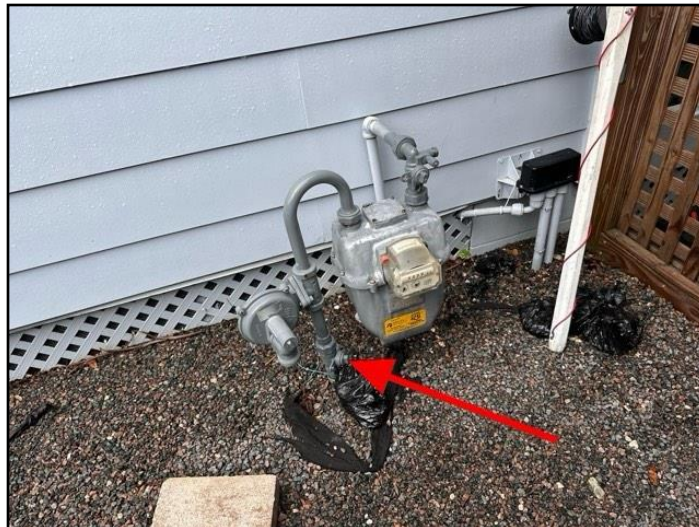
All water heaters accumulate sediment in the bottom which reduces efficiency and the overall life of the unit. The link in this section is a How To on draining an electric water heater. Draining a gas water heater is the same after setting the gas valve to pilot, vacation mode or off and following instructions on the unit for reigniting the pilot when complete.

Waste disposal system: • Public

Waste and vent piping in building (Visible): • PVC • [Cast iron](#)

Main fuel shut off valve at the::

- Gas meter



Main gas shutoff valve

Observations & Recommendations

SUPPLY PLUMBING \ Water supply piping in building

34. Condition: • Water pipes not insulated to protect from cold temperatures

All water pipes exposed to the exterior and hot water piping located outside the conditioned space are required to be insulated to a minimum value of R3.

One or more pipes on the exterior or in the attic require insulation to protect from freezing and possible water damage to the structure.

Proper supports should be added to horizontal runs as well.

Location: Garage

Task: Repair, 4-POINT FAILURE

Time: Immediate



GAS SUPPLY \ Gas piping

35. Condition: • Corrugated Stainless Steel (CSST) gas pipe unsupported and/or routed across ground

CSST gas pipe installed incorrectly in contact with soil. Manufacturers require this piping to be secured to the structure to prevent damage or corrosion. Although this is sleeved it should be attached to the structure.

Location: Right Rear Crawlspace

Task: Repair, 4-POINT FAILURE

Time: Immediate,



WASTE PLUMBING \ Drain piping - performance

36. Condition: • Cast iron pipes present - Recommend drain scope

Cast iron drain/vent piping is present in this home. This material is known to corrode from the inside out, fail over time and cause repeated backups and damage to structures. Although PVC pipe may be connected at some point in the system, many times it may be connected to the original cast iron pipe.

For this reason it is recommended a sewer scope of drains be performed to ensure integrity of the drains and prevent future damage.

A reliable sewer scope with video and a recommendation can be obtained by calling Curt Arnold (813) 469-7443.

Task: Further review by qualified expert prior to end of inspection contingency period



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
POOL / SPA -	REFERENCE								

Inspections & Limitations

Items excluded from a building inspection:

- Irrigation systems are concealed systems (buried) and can not be properly tested without a diagram of the system showing the location of all valves and sprinkler heads. Due to the time allotted for the inspection, there is no way to determine the reliability or serviceability of buried valves and sprinkler heads. Recommend the system be tested prior to closing to ensure full operation.
- Water quality is not determined during a home inspection. Recommend providing a sample to a local lab if quality is a concern.
- Concealed plumbing (supply, waste and vent plumbing underground, inside walls, slabs, inaccessible areas of an attic and or crawlspace made up of but not limited to cast iron, orangeburg or other antiquated pipe) is excluded from a home inspection. If you suspect an issue with any concealed plumbing, recommend a sewer scope of system to determine cause.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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General System Info

General: • The inspector shall inspect entryway doors, windows, interior doors, garage doors, walls, ceiling, floors, steps, stairways, balconies, railings, countertops and a representative number of installed cabinets. The inspector shall inspect installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. The inspector shall operate all entryway and interior doors and a representative number of windows, operate garage doors manually or by using permanently installed controls for any garage door operator, and report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing. The inspector shall report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is NOT required to observe storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories, presence of safety glazing in doors and windows, garage door operator remote control transmitters, paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors, carpeting, draperies, blinds, or other window treatment, central vacuum systems, recreational facilities, installed and free-standing kitchen and laundry appliances, appliance thermostats including their calibration, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance, operate, or confirm the operation of every control and feature of an inspected appliance.

Observations & Recommendations

RECOMMENDATIONS \ General

37. Condition: • [Recommend Smoke/ Carbon Monoxide detector replacement / upgrade](#)

Smoke detector ages are not determined during a home inspection but should be replaced every 10 years and Carbon Monoxide detectors every 6 years. Replacing all smoke and/or Carbon Monoxide detectors throughout the home is recommended to best protect occupants and the investment translates to a safer home. All detectors should be tested monthly to ensure operation. If gas appliances are used within the home, recommend installation of carbon monoxide alarms as well.

Recommended locations for alarms is one Carbon Monoxide alarm at the garage entrance, one combination alarm outside all bedrooms and one in each bedroom for best coverage. There are combination Smoke & Carbon Monoxide Alarms available.

Task: Replace, Upgrade,

Time: As soon as possible,

CEILINGS \ General notes

38. Condition: • Ceiling not sealed from attic- hole/opening present

Ceilings should be completely sealed to prevent hot and humid attic air from being pulled into the living space. This may cause mold growth if conditions are ideal.

All penetrations should be fully sealed to protect structure and occupants.

Location: Middle bedroom

Task: Repair,

Time: Immediate,

INTERIOR

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www.handyvetinspections.com

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WALLS \ Plaster, drywall or stone/ tile

39. Condition: • Paint failing in one or more locations

Failing paint may be due to multiple reasons. Recommend all damaged areas be properly repaired

Location: Dining room

Task: Repair,

Time: As soon as practical,



DOORS \ Doors and frames

40. Condition: • [Door binds](#)

Door binds against frame, floor or other door preventing opening & closing smoothly.

Implication(s): System inoperative or difficult to operate

Location: Right Middle Bedroom

Task: Repair or replace,

Time: As soon as possible,



APPLIANCES \ Dryer

41. Condition: • Dryers and ducts require periodic cleaning to prevent potential fires

Dryers are one of the most overlooked systems in a home when it comes to cleaning because the most important part can't be seen. Dryer screens, internal components and ducts, regardless of length require regular cleaning to prevent clogs and a potential fire hazard. Lint is extremely flammable and if allowed to build up may ignite under the right conditions, damaging the structure and injuring occupants. Recommend an immediate cleaning of the entire system prior to occupying and a regular cleaning thereafter.

Implication(s): Fire, Clogged ducts, decreased dryer efficiency, higher gas/electric bills

Task: Clean,

Time: Regular maintenance

Inspections & Limitations

Inspection limited/prevented by: • Inspection limited by occupant's personal items, storage and or furniture. Personal items and furniture are not moved during an inspection. These items may cover a defect that should be identified during a pre-closing walk through.

Not included as part of a building inspection:

- Window seals are not inspected. Windows with double or triple paned glass are typically sealed with an inert gas inside to assist in insulating the inside living space. These seals may fail with no indication of failure. There is no method of testing the seal during an inspection. If the window is clouded or discolored this is a sign of seal failure and if visible at the time of the inspection the defect will be noted in the report. If you see clouding or discoloring at a later date consult a licensed window installer for repair or replacement options.
- Vermin, including wood destroying organisms.
- Security systems and intercoms
- Central vacuum systems



Appliances: • Appliances are inspected using basic operating controls and not evaluated for effectiveness. Dish and Clothes Washer's are inspected using normal controls and are not run through an entire cycle, but only operated to determine temperature/ basic fill and drain functions. Refrigerators are inspected to ensure the separate areas are operating and installed ice and water dispensers are operating. Refrigerators are not moved to determine water valve status/condition. Permanently installed appliances include clothes dryers, microwaves, ovens, cooktop ranges, freestanding stoves etc and are only operated to determine if the elements work, they are not inspected to determine effectiveness. Freestanding microwaves or toaster ovens are not included in a home inspection. Disconnected appliances: breakers and disconnected plugs are not turned on/connected and are excluded from inspection.

POOL / SPA - MAIN

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General System Info

General / Pool Overview:

- General View of Pool, Pump System and Surrounding Deck



Areas around pool/Material: • Stone pavers

Interior Finish Materials: • Plaster / Gunite

Heat source:

- Heat pump



Water filter:

- Cartridge filter

POOL / SPA - MAIN

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Pumps:

- Variable speed



Child-safe barriers: • Minimal protection- Perimeter fence around pool and house, recommend improving for user and child safety.

Entrapment Prevention Components: • Entrapment prevention drains present at pool bottom. These drains are designed to prevent young or weak swimmers from becoming entrapped by the suction of the drain causing injury or death. Proper safety fencing as well as self locking gates/doors is recommended as well to prevent accidental drowning.

Click this link for more info on Pool Safety:
<https://www.cpsc.gov/s3fs-public/361.pdf>

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Electrical - breaker location: • At equipment panel adjacent to pool pump equipment

Observations & Recommendations

RECOMMENDATIONS \ General

42. Condition: • Recommend Pool School

Recommend obtaining a "Pool School" from a local pool company to provide a full class on the operation and care of a pool if you are not an experienced pool owner. The classes are invaluable and will save you money in the long term.

Task: Obtain class on operation

Time: As soon as practical

ELECTRICAL \ Wiring

43. Condition: • Pool GFCI breaker faulty/ will not trip when tested

Location: Pool Subpanel

Task: Replace, 4-POINT FAILURE

Time: Immediate,



ELECTRICAL \ Pool lights

44. Condition: • Inoperative

Light should be repaired to ensure proper connection for pool electrical system. Recommend obtaining repair quote prior to closing as this replacement/repair can be costly.

Task: Repair, 4-POINT FAILURE

Time: Immediate,

POOL / SPA - MAIN

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Inspections & Limitations

General:

- Pool heaters are tested, if possible, for basic operation. Heaters are not tested for efficiency of warming pool or spa.
- Pool saline generation systems are not tested during a typical home inspection. Recommend testing and adjustment by a licensed pool technician if you are not familiar with system.
- Child safe barrier fence holes present on pool patio- no safety fence seen during inspection.

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS